

Commissioners:

James Bull
James Daire
Chuck Gitzen
Wayne Groff
Julie Kimble
Robert Murphy
Peter Sparby



**Planning Commission
Agenda**
Wednesday, August 1, 2018
6:30pm

Address:
2660 Civic Center Dr.
Roseville, MN 55113

Phone:
651-792-7080

Website:
www.cityofroseville.com/pc

1. Call To Order
2. Roll Call
3. Approval Of Agenda
4. Review Of Minutes
- 4.A. July 11, 2018 Minutes

Documents:

[JULY 11, 2018 MINUTES.PDF](#)

5. Communications And Recognitions
- 5.A. From The Public:
Public comment pertaining to general land use issues not on this agenda, including the 2040 Comprehensive Plan Update
- 5.B. From The Commission Or Staff:
Information about assorted business not already on this agenda, including a brief update on the 2040 Comprehensive Plan Update process
6. Unfinished Business
- 6.A. Continued Consideration Of The Request By United Properties For A Conditional Use To Increase Roof Height From 45 Feet To 55 1/2 Feet (PF18-012)

Documents:

[6A REPORT AND ATTACHMENTS.PDF](#)

7. Public Hearing
- 7.A. Request By City Of Roseville For Zoning Code Text Amendments To Section 1001.10 (Definitions) And Table 1005-1, Table 1005-5 And Table 1006-1 To Allow As A Permitted Or Conditional Use Taproom, Brewery And Brewpub And Amendment To Section 1009.02 Conditional Use To Create Specific Criteria For Breweries/Taprooms Adjacent To Residential Uses (Project File 0017, Amdt 35)

THIS PUBLIC HEARING HAS BEEN POSTPONED.

- 7.B. Request By LRD, LLC For Approval Of A Preliminary Plat To Subdivide The Residential Property At 2237 W Cleveland Drive Into Three Lots And Incorporate The Two Un-Addressed Parcels To The North As Additional Lots In The Plat (PF18-011)

Documents:

[7B REPORT AND ATTACHMENTS.PDF](#)

- 7.C. Request By Peak Investments LLC D.b.a. Mudslingers MN For Consideration Of An Amendment To The Zoning Code To Allow Drive-Through Facilities As Conditional Uses In The Neighborhood Business District, And For Consideration Of Approval Of A Drive-Through Facility As A Conditional Use At 2154 Lexington Avenue (PF18-010)

Documents:

[7C REPORT AND ATTACHMENTS.PDF](#)

- 7.D. Request By Roseville Centre Lodging, LLC In Cooperation With Centre Pointe Solutions, To Consider The Final Plan Of An Amendment To Planned Unit Development Agreement #1177 To Allow A Four Story Hotel And Other Site Improvements At 3015 Centre Pointe Drive (PF18-006)

Documents:

[7D REPORT AND ATTACHMENTS.PDF](#)

8. Adjourn



**Planning Commission Regular Meeting
City Council Chambers, 2660 Civic Center Drive
Draft Minutes – Wednesday, July 11, 2018 – 6:30 p.m.**

- 1 **1. Call to Order**
2 Vice Chair Bull called to order the regular meeting of the Planning Commission meeting
3 at approximately 6:30 p.m. and reviewed the role and purpose of the Planning
4 Commission.
5
- 6 **2. Roll Call**
7 At the request of Vice Chair Bull, City Planner Thomas Paschke called the Roll.
8
- 9 **Members Present:** Vice Chair James Bull; and Commissioners, Chuck Gitzen, Peter
10 Sparby, Wayne Groff, and James Daire
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- 12 **Members Absent:** Chair Robert Murphy and Julie Kimble
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- 14 **Staff Present:** City Planner Thomas Paschke
15
- 16 **3. Approve Agenda**
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- 18 **MOTION**
19 **Member Gitzen moved, seconded by Member Groff to approve the agenda as**
20 **presented.**
21
- 22 **Ayes: 5**
23 **Nays: 0**
24 **Motion carried.**
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- 26 **4. Review of Minutes**
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- 28 **a. June 6, 2018 Planning Commission Regular Meeting**
29 Member Groff noted he was missing from the Roll Call and was present at the
30 meeting.
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- 32 Member Sparby noted Member Sharon Brown should be removed from the
33 Commissioner list.
34
- 35 Member Gitzen suggested lines 201-203 should be omitted. And on lines 387-401,
36 the part highlighted in red should be updated to reflect the handout City Planner
37 Paschke provided to the members of the PC.
38
- 39 **MOTION**
40 **Member Sparby moved, seconded by Member Gitzen to approve the June 6,**
41 **2018 meeting minutes as amended.**
42

43 Ayes: 5
44 Nays: 0
45 Motion carried.

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47 **5. Communications and Recognitions:**

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49 **a. From the Public:** *Public comment pertaining to general land use issues not on this*
50 *agenda, including the 2040 Comprehensive Plan Update.*

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52 None.

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54 **b. From the Commission or Staff:** *Information about assorted business not already on*
55 *this agenda, including a brief update on the 2040 Comprehensive Plan Update*
56 *process.*

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58 City Planner Paschke asked the Members to begin thinking about what they would
59 like to include on the agenda for the joint meeting with the Council on July 23rd. He
60 also provided an update on the Comp Plan: 10 of 12 reviews have been received by
61 surrounding or overlapping communities; 3 of the 21 agencies responsible for
62 reviewing the Comp Plan have provided reviews; Senior Planner Lloyd has asked
63 several staff members to complete their review of the plan of the surrounding
64 jurisdictions by July 31st; staff will have a discussion of other Comp Plans as well as
65 feedback received thus far on September 5th; nothing about the land use plans has
66 contained anything alarming along Roseville’s boundaries.

67
68 Vice Chair Bull asked whether a special meeting will be designated for Comp Plan
69 review.

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71 City Planner Paschke responded he is not sure that will be necessary; it will depend
72 on the workload that comes in before then. It may be added to the docket of a
73 scheduled meeting.

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75 **6. Public Hearing**

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77 **a. Consideration of a Request By United Properties For A Conditional Use To**
78 **Increase Roof Height From 45 Feet To 55 1/2 Feet (PF18-012)**

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80 Chair Murphy opened the public hearing for PF17-019 at approximately 6:39 p.m.
81 and reported on the purpose and process of a public hearing. He advised this item will
82 be before the City Council (tentatively) on July 23rd. If that meeting is cancelled, it
83 may be pushed into August.

84
85 City Planner Paschke summarized the request as detailed in the staff report dated July
86 11, 2018. He reported this request is to raise the roof to 55 ½ feet, which is 10 ½ feet
87 higher than is allowed.

88
89 Vice Chair Bull noted that the PC has previously discussed height restrictions.

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91 City Planner Paschke concurred this has been discussed before. A maximum cap was
92 agreed on for a permitted use, with a case-by-case analysis of a conditional use for
93 increased height.

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95 Member Daire commented about the building elevations.

96
97 City Planner Paschke noted this proposal is taller than Cherrywood.

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99 Member Daire stated he is accustomed to the two single-family homes there now, and
100 they are being replaced by a massive wall of building, and that troubles him.

101
102 Member Sparby asked whether the applicant considered other styles of roof that
103 would be in compliance.

104
105 City Planner Paschke stated the goal was to avoid the conditional use process, so he
106 assumes they looked at a number of styles. This elevation is what they are moving
107 forward with and what they believe is most appropriate for the design of the building.
108 Given the neighborhood, this product will probably fit in very well, and it meets the
109 purpose and the intent of the Code.

110
111 Member Sparby asked about an agreement between applicant and the existing
112 landowners.

113
114 City Planner Paschke responded it is staff's understanding there is a purchase
115 agreement in place and all parties are supportive.

116
117 Member Gitzen noted that the conditional use goes with the land, even if this project
118 falls through.

119
120 City Planner Paschke concurred that is correct.

121
122 Member Groff asked to confirm that this land is zoned for this type of use, but it
123 needs a conditional use for the height of the building.

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125 City Planner Paschke confirmed that is correct.

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127 Member Groff inquired how the water runoff will be address.

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129 City Planner Paschke confirmed the applicant has already had discussions with the
130 Watershed District.

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132 Member Groff asked for the requirements on parking lots.

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134 City Planner Paschke responded there are different requirements from the Watershed
135 District than the City. They could design permeable pavers into the site. There is a
136 maximum allowance of impervious surface on the sight, and they are under that.

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138 Vice Chair Bull invited the applicants to address the Commission.

139
140 David Young, United Properties, introduced himself.

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142 Petro Megitz, Kaas Wilson Architects, introduced himself.

143
144 Mr. Young expressed gratitude for the PC reviewing this conditional use. The
145 pitched roof and the request for this 10-foot variance is in relation to the pitched-roof
146 look that is consistent with the surroundings and the multi-family feel of the
147 buildings.

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149 Mr. Megitz noted both roofs were presented, and the pitched roof was preferred.

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151 Vice Chair Bull asked what is driving the extra height of the building.

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153 Mr. Megitz stated there are 9-foot ceilings throughout. Adding in the 24-inch trusses
154 plus the pitched roof is where the additional 10 feet is coming from. Doing a flat roof
155 would not need a conditional use.

156
157 Member Sparby asked whether there is any benefit to the hip roof style other than
158 aesthetics.

159
160 Mr. Megitz stated more insulation can be packed in the attic space, so it is a lot more
161 energy efficient.

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163 Member Daire noted it is a wood structure building. It is easier to prevent water
164 infiltration from the roof with a pitched roof rather than a flat roof on a frame
165 building.

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167 Mr. Megitz responded that is not necessarily true; it depends on the details.

168
169 **Public Comment**

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171 **Roxanne Sullivan, 2654 Lexington,**
172 Ms. Sullivan commented United Properties already owns all the parcels under
173 consideration, and her property is the last one to go. She asked about next steps. The
174 signed purchase agreement with United Properties is contingent upon Roseville's
175 approval of the plan. When this gets approved, her family needs to find a new home.
176 She is here to figure out the timing of the process.

177
178 Vice Chair Bull noted the PC is a recommendation board to the Council, and the
179 Council has a final say. This request is only dealing with the height of the building,
180 not the layout or any restrictions put on the water processing, pathways, or trees, et
181 cetera. Those are other aspects that will come back with the initial platting, and the
182 PC will review it, and the Council will rule on that. Those are bigger issues than the
183 height of the building.

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City Planner Paschke stated that once the PC makes a recommendation, it is forwarded to the Council. That will occur on either July 23rd or the first meeting in August. Assuming the Council approves, the project will be approved, and staff will work with United Properties to record the resolution related to the conditional use aspect of the project.

Ms. Sullivan asked about next steps.

City Planner Paschke stated that next the designers have to get final plans to staff related to site development. If there is a plat, it will have a step or two to go through with the PC and Council.

Member Daire asked about the timing of the purchase agreement.

City Planner Paschke stated that depends on the stipulation within the purchase agreement. Assuming it is tied to the conditional use, it could close the day after the Council approves the conditional use.

Member Daire noted the one remaining land-holder might reasonably expect to have closed by the middle of August.

City Planner Paschke responded that depends on the title companies and all the paperwork involved.

Mike Flannigan, 1016 Woodhill Drive,

Mr. Flannigan asked when he can address the Council on things other than the roof.

Vice Chair Bull responded that would be at the public hearing on the platting of the development.

City Planner Paschke responded he will receive any comments on the project itself.

Mr. Flannigan expressed concern about sharing handicap parking with Cherrywood, where his mother-in-law lives. There are only 3 handicap spots on the other side of Cherrywood, and if shared parking occurs, there will not be enough.

City Planner Paschke clarified the Cherrywood site wants to have additional parking spaces out front.

Mr. Flannigan stated it is a 4-story building, just like Cherrywood. He asks why this building needs to be 10 feet higher if it will be a similar structure to Cherrywood.

Mr. Young indicated that neither he nor Mr. Megitz worked on the Cherrywood project, so they cannot speak to the design or conditional uses.

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Mr. Flannigan indicated that this proposed building will look out of place if it starts at the top of the hill and is an extra 10 feet taller than Cherrywood next to it. He would like the buildings to be as similar as possible.

Vice Chair Bull commented that is the reason he asked about the reason behind the desire for 10 extra feet, and it is due to the 9-foot ceilings with the trusses.

Pat Zajac, 2690 Oxford,

Ms. Zajac noted all of the neighbors were taken by surprise that this was in planning and now the discussion is about height. She asked why a letter was not sent earlier.

Vice Chair Bull responded the property was zoned for this use and if a developer comes in and is going to use it for that permitted zoning, there is not a need for a public hearing at that point. That is the case with several projects around the City right now.

Ms. Zajac asked about access off County Road C.

City Planner Paschke noted there will be no access off County Road C.

Ms. Zajac commented there is not enough parking at Applewood for guests.

Mr. Young noted the proposed building is of similar size and similar roof pitches to the existing Cherrywood. They are both four stories, trusses, and roof pitches. He does not expect this building to be any higher from a maximum height from Cherrywood. He also clarified there is no access allowed off County Road C. The County did comment on the existing access there off Lexington.

Vice Chair Bull noted that Roseville’s Code today may well have been different in the process of the Cherrywood construction. While a CUP is required today, Cherrywood may not have needed a CUP, but could have built a similar height.

Member Gitzen asked for clarification on the height.

Mr. Young responded that from the first floor, both buildings are 9-foot walls, 2-foot trusses and a pitched roof.

Mr. Megitz added that the new building is pitching downhill, so due to the grade changes, the new building will probably be 5 to 6 feet shorter at that location.

Mr. Young noted that the two buildings will be sharing access, and they are within 5 feet of each other. He reiterated he does not believe people will see any additional height to this building over Cherrywood.

Member Sparby asked about potential overflow parking from the new property into Cherrywood.

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Mr. Young pointed out the parking counts conform to the City ordinance. What is being proposed are additional guest parking spots, in conjunction with the existing handicap stalls already in place at Cherrywood. That will be part of the variance process. He noted the plan will exceed the parking requirements of the current ordinance.

Nadine Fuxa 2690 Oxford Street,

Ms. Fuxa looked at the property and noticed all the gray cement and a little bit of parking. Ninety-six units will create a lot of new cars and people. This is a safety nightmare. And the building is very close to the edges of the property. That many units present such a massive change from what it is now, as far as traffic is concerned.

Member Daire asked if there are different driveway comp estimates used by planners for people in senior facilities vs. a normal apartment.

City Planner Paschke responded he is not sure off the top of his head.

Vice Chair Bull commented that multi-family zoned properties have an authorized number of units based upon zoning. With those units, different types of housing might have X number of trips per unit calculated vs. a condo unit. The PC is considering the building height, and the discussion needs to stay with that topic tonight.

Cynthia Warzecha, 2700 Oxford Street North,

Ms. Warzecha stated she serves on the Parks and Rec Commission but felt compelled to be here today to look at the plans since she lives in the neighborhood. She looked at the buffer between the wetland, and Cherrywood seems reasonable. There is a lot of wildlife in the wetland, and she wonders which Watershed District the applicant is working with. There does not seem to be room for stormwater mitigation.

City Planner Paschke responded that it is the Ramsey-Washington Watershed District. The applicant will also work with the City Engineer. There must be a 50-foot setback from a delineated wetland boundary, and there is a 20-foot buffer on top of that. Staff has reviewed those, and/or will be reviewing those things. Not all sites have stormwater management on the ground. With ponds and infiltration, they sometimes go underground, and that is an option for this site as well.

Mary Vang, 2720 Oxford Street North,

Ms. Vang stated 95% of her windows look at Cherrywood and the new building. She chose the location for her own for the environment, and she feels like she will be boxed in. She does not want to see the rooftop. She questioned why it has to be higher than it needs to be.

Member Daire asked if Cherrywood would be between her house and the proposed building.

Ms. Vang responded she is on the corner of Oxford and Woodhill.

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Patricia Murtha, 1020 Woodhill Drive,

Ms. Murtha asked what the purpose was of the original restriction and why is it no longer necessary. There must have been a reason for the height restriction.

City Planner Paschke responded the reason for the change was to allow flexibility to design floors. The Council decided to decrease from 50 feet to 45 feet and also allow a conditional use process to accommodate greater height. Keeping it at 4 stories, but the roof height going up. This allows for flexibility to have a structure to have a difference in floors. There is no standard floor height with roof joists, so there is flexibility.

Mr. Flannigan asked about the peak of the roof and whether the variance is on the north or the south end of the building. He stated a 55-foot approval at Cherrywood, it will be a 75-foot building down at County Road C. It will not feel like Central Park in Roseville, but rather like Central Park in New York.

City Planner Paschke clarified this is not a variance. This is an allowable way of proceeding. The way the grade is calculated is from main grade, like where the entry doors are. It is taken from there up to the mid-point on the roof trusses. It is not taken from every point on the building. The underground parking entry will look taller, but that is not how the height is calculated under the City Code.

Ms. Warzecha added that she can see the wetland from her balcony. She would be okay with a changed roof style if it meant not creating the conditional use permit.

Bobbie Flannigan, 1016 Woodhill Drive,

Mrs. Flannigan stated her husband has already spoken this evening. She asked whether the 4th floor could be eliminated.

Vice Chair Bull responded that is entirely up to the designers. They have guidelines on the maximum, but they also have to consider the economics of the development.

Mrs. Flannigan stated it would be wise to do a compromise with the neighbors and the surrounding environment. When she moved here 30 years ago, it felt up north. But now it feels like New York Central Park.

The public hearing was closed at 7:47 p.m.

Commission Deliberation

MOTION

Member Daire moved, seconded by Vice Chair Bull, to recommend approval of the CU requests pertaining to a 10-1/2 foot building height increase (from 45 to 55-1/2 feet) for the proposed senior rental building in the northeast corner of Lexington Avenue and County Road C.

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Commissioner Daire stated he is somewhat torn about this proposal. There are 24 units per floor plus underground parking. Having come from 35 years of work with the Minneapolis Planning Commission, he understands the economics surrounding this. It was a bit of a shock to receive the packet in the mail, especially when looking at the elevations. It looked like a huge wall along Lexington Avenue. On the other hand, the allowable density in the zoning code has been met by the developers, and they have done it in a way that maximizes the use of the site and accommodates the wetlands to the east of the building site. He cannot say that he thinks the profile of the wetlands is going to have to change in order to accommodate the runoff requirements. He is realizing that the only thing that is really debatable is the style of the roof and whether the PC will allow the hip roof to match in with the other multi-family building already present in Cherrywood. In his view the flat roof is much less appealing. In his view, the staff has made the right choice in recommending the conditional use permit.

Commissioner Sparby stated he is mainly concerned that the different roof styles have not been explored. Matching the roof style with Cherrywood is a good reason. but it is not necessarily compelling enough to override the concerns expressed by the property owners and their benefit of the area. That should be explored more. At this time, he is not supportive of the motion but would be open to hearing more about the project with different roof styles.

Commissioner Groff expressed agreement with many of the concerns voiced by Commissioner Daire. He noted, however, that this property was zoned for this type of use. The PC is not here to discuss the zoning; it is here to discuss the roof height. It is hard to have change in a neighborhood, and it is hard to lose green space. Those concerns are understandable on an emotional level. It is possible to look at other types of roofs. At this point, he would probably not support the motion and ask for more information be brought back to the PC.

Commissioner Gitzen stated he does not have enough information to picture how it would look right now. At this time, he would not support the motion.

Vice Chair Bull stated he is also torn about the case. Both buildings are going to be 4 floors and both would have a hip roof. They will be fairly equivalent within about 5 feet. As this goes forward to the Council, it might be helpful for the Planning Commission to look at what the Code used to be to see how it would line up from a horizontal elevation. The fact that the City changed its Code process should not penalize a developer in the way they are designing a project. With that in mind, he would support the motion.

Ayes: 2 (Bull, Daire)
Nays: 3 (Groff, Gitzen, Sparby)
Motion failed.

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MOTION

Member Gitzen moved to DENY approval of the CU requests pertaining to a 10-1/2 foot building height increase (from 45 to 55-1/2 feet) for the proposed senior rental building in the northeast corner of Lexington Avenue and County Road C.

Member Gitzen noted he has made the motion based on the fact that he does not have enough information to make a good judgment on the aesthetics and fit into the neighborhood. He wants more information to support this motion.

Motion failed due to lack of second.

City Planner Paschke suggested the PC consider tabling the motion to allow time to ask staff and the architects for additional information.

MOTION

Member Gitzen moved, Member Groff seconded, to TABLE this CU request until the August Planning Commission meeting.

Ayes: 4 (Bull, Groff, Gitzen, Sparby)

Nays: 1 (Daire)

Motion carried.

Commissioner Daire stated that the upper grade level on the west elevation is inches below the first-floor level. He asked whether it would do violence to the design to drop the first-floor level by 2 feet and to handle the drainage through landscaping and trenching.

Mr. Megitz responded that is similar to what is going on at Cherrywood right now.

Commissioner Daire asked if it is possible to drop the elevation of the first floor and thus the underground parking by a foot or two in order to bring the roof profile down.

Mr. Megitz noted the measurement would still be from first floor up to midpoint, so the overall building height would not decrease. In how the City Code is established, it is from the first floor up.

Commissioner Daire stated the PC wants to know where the roof line of this building comes in relation to Cherrywood. He is asking whether it is architecturally feasible to drop the peak of that gable down by 2 feet by depressing the building, regardless of how the mid-truss calculation is calculated.

Mr. Megitz responded it is possible.

Vice Chair Bull asked whether City Planner Paschke is clear on what the PC is asking for in terms of additional information.

463 City Planner Paschke summarized he will review the minutes as well, but at this point
464 he understands the desire to know the proposed building's relationship to the existing
465 Cherrywood; the desire to know the elevation heights all around the building, on C,
466 Lexington and other periodic points; the specific Code as to how roof height is
467 calculated; and understanding the Code at the time Cherrywood project went forward
468 and how it might be different today.

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470 Commissioner Sparby added that he is also interested in different roof styles. This
471 one is 55 ½ feet. He wondered whether the different roof styles came back at less
472 than 55 feet. That is helpful for context. Perhaps other remedial measures can be
473 taken with this roof style.

474
475 Commissioner Daire stated there are probably other roof styles which from the street
476 would look like a gabled roof but in fact be a mansard or some other such style, even
477 a flat roof. He would think that might also work to reduce the roof line visually from
478 the street. He does not think much can be done with the massing of the building
479 except the way it is treated architecturally on the outside.

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481 **7. Adjourn**

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483 **MOTION**

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485 **Member Gitzen, seconded by Member Groff to adjourn the meeting at 8:05 p.m.**

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487 **Ayes: 5**

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Nays: 0

Motion carried.

Agenda Date: **08/01/18**Agenda Item: **6a**

Prepared By



Department Approval



Agenda Section

Unfinished Business

Item Description: CONTINUED CONSIDERATION of the request by United Properties for a Conditional Use to increase roof height from 45 feet to 55-1/2 feet pursuant to Table 1004-6 and §1009 of the City Code (PF18-012)

1 APPLICATION INFORMATION

2 Applicant: United Properties
3 Location: 2630, 2644, 2654, 2656 and 2666 Lexington
4 Property Owner: Richard Sullivan and United Properties
5 Application Submission: 06/01/18; deemed complete 06/17/18
6 City Action Deadline: 07/31/18; extended 60 days to 09/29/18
7 Planning File History: PF15-015

8 Level of Discretion in Decision Making:

9 Actions taken on a Conditional Use request is quasi-judicial; the City's role is to determine the
10 facts associated with the request and weigh those facts against the legal standards in State
11 Statutes and City Code.

12 BACKGROUND

13 On July 11, 2018, the Planning Commission closed the public hearing and continued its
14 approval/denial deliberation on the request by United Properties in order to seek additional
15 information concerning the request for a 10-1/2 foot roof height Conditional Use on a proposed
16 four-story, 96 unit market rate senior rental complex.

17 Specifically, the Planning Commission requested additional information regarding the Code at
18 the time of the Cherrywood development, the Cherrywood development building height, roof
19 design alternatives, varying elevation heights of the proposed senior building.

20 ADDITIONAL PLANNING DIVISION ANALYSIS

21 The current Dimensional Standards of Table 1004-1 require roof height over 45 feet and up to 65
22 feet to receive a Conditional Use based on the Standards and Criteria found in §1009.02.C of the
23 Zoning Code. These requirements, however, have only been in place since October 2016.

24 Prior to October 24, 2016, the High Density Residential (HDR) District permitted a building to
25 be 65 feet in height. The Cherrywood project met this standard, with a height of approximately
26 56 feet. The previous HDR Dimensional Standards are contained in the following table:

27 B. Dimensional Standards:

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Table 1004-6	HDR-1		HDR-2
	Attached	Multifamily	Multifamily
Maximum density	24 Units/net acre		None
Minimum density	12 Units/net acre		24 Units/net acre
Maximum building height	35 Feet	65 Feet	95 Feet
Maximum improvement area	75%	75%	85%
Minimum front yard building setback			
Street	30 Feet	30 Feet	10 Feet
Interior courtyard	10 Feet	10 Feet	15 Feet
Minimum side yard building setback			
Interior	8 Feet (end unit)	20 Feet, when adjacent to ldr-1 or ldr-2 10 Feet, all other uses	20% Height of the building ^a
Corner	15 Feet	20 Feet	20% Height of the building ^a
Minimum rear yard building setback	30 Feet	30 Feet	50% Height of the building ^a

29 §1001.10 Definitions contains the definition used by the Planning Division to properly determine
 30 the height of a building. The building height for the subject project was determined to be 55-1/2
 31 feet, based upon the following definition:

32 ***Building height:*** *The vertical dimension measured from the average elevation of the*
 33 *approved grade at the front of the building to the highest point of the roof in the case of a flat*
 34 *roof, to the deck line of a mansard roof, and to the midpoint of the ridge of a gable, hip, or*
 35 *gambrel roof. (For purposes of this definition, the average height shall be calculated by*
 36 *using the highest ridge and its attendant eave. The eave point used shall be where the roof*
 37 *line crosses the side wall.) In the case of alterations, additions or replacement of existing*
 38 *buildings, height shall be measured from the natural grade prior to construction.*

39 **PLANNING DIVISION REVIEW OF PROPOSAL**

40 Prior to analyzing the CU Standards and Criteria, the Planning Division looks at the general area
 41 in which a project is to be developed and makes some determinations based on the surrounding
 42 landscape. The project (a four-story, 96 unit market rate senior rental facility) will generally be
 43 constructed in the northeast corner of Lexington and County Road C.

44 The subject area is well developed and is bordered by two major roadways (County Road C and
 45 Lexington Avenue). Cherrywood assisted living facility is located directly north, while
 46 Parkview Terrace and Parkview Estates (201 condo units combined) is located directly east
 47 across Oxford Street. The City Hall Campus is located to the west across Lexington and Central
 48 Park is located directly south across County Road C.

49 Given the height of the existing Cherrywood and Parkview complexes, as well as City Hall,
 50 which is constructed on a hill, the Planning Division determined that the proposed four-story
 51 building at 55-1/2 feet will fit appropriately into the landscape and have little or no visual impact
 52 on the area.

53 The proposed building was designed with roof height impact in mind. Its design is very similar
54 to Cherrywood and is the only hip roof design possible based on construction standards. A flat
55 roof building could meet the permitted dimensional standard of 45 feet, however, such a design
56 would look out of place and not fit well into the landscape.

57 As previously discussed by the Planning Division during the consideration of developing multi-
58 family standards within the Regional Business District, there is an inherent limitation in both an
59 established height and a limitation on the number of stories, with the main limitation being
60 flexibility in design of the structure. The same logic can be applied to the subject proposal by
61 United Properties where the height of each floor is just over 11 feet, which leaves roughly 2-1/2
62 feet above the top roof joist to design a hip roof truss system. Given all the other factors one
63 needs to apply to the truss design, it is impossible to achieve compliance with the permitted 45
64 foot standard (measured from grade to the midpoint of the roof truss) and have a truss roof,
65 therefore the CU for the additional 10-1/2 feet for this design is necessary.

66 As requested by the Planning Division, the applicants have submitted a few illustrations in
67 support of the project. These include an illustration of the roof height difference between
68 Cherrywood and the proposed building, an illustration of the flat roof building design as
69 compared to Cherrywood, and an illustration of the proposed building height from the garage
70 floor level.

71 §1009.02.C sets forth the specific Standards and Criteria that the Planning Division, Planning
72 Commission, and City Council must review and make findings in support or in opposition to the
73 request. Based on the subject request, an increased roof height from 45 feet to 55-1/2 feet (10-
74 1/2 foot increase) the Planning Division made the follow findings:

- 75 1. *The proposed use is not in conflict with the Comprehensive Plan:* The use of the property for
76 the development of an apartment complex is a permitted use, while increased density and/or
77 building height requires a Conditional Use. The proposal to have 96 units satisfies the
78 density limitation, however the increase in height from 45 to 55-1/2 feet requires an approved
79 CU. The proposed project is supported within the General Land Use and Residential Area
80 Goals and Policies section of the 2030 Comprehensive Plan.
- 81 2. *The proposed use is not in conflict with any Regulating Maps or other adopted plan:* The
82 subject property in the northeast corner of County Road C and Lexington Avenue does not
83 have a regulating plan, nor is there a small area plan or other that guides future development.
- 84 3. *The proposed use is not in conflict with any City Code requirements:* The CU for increased
85 height is only one step in the project design process. That said, the City has received the first
86 set of plans that it will review against the Design Standards of the Residential Regulations
87 Chapter of the City Code. As for building height, the proposal achieves compliance with all
88 other applicable Code standards.
- 89 4. *The proposed use will not create an excessive burden on parks, streets, and other public*
90 *facilities:* Although the use will increase the number of residents, it will not create any
91 adverse or excessive impacts to parks, streets, or other public facilities.

92 5. *The proposed use will not be injurious to the surrounding neighborhood, will not negatively*
93 *impact traffic or property values, and will not otherwise harm the public health, safety, and*
94 *general welfare:* The proposed use of the property and the increased height of the building
95 will not be injurious to surrounding neighborhoods and will not negatively impact traffic,
96 property values, and will not otherwise harm public health, safety, and general welfare.

97 **PLANNING COMMISSION ACTION**

98 Based upon the closed public hearing, the Planning Commission needs to determine, based upon
99 the additional information, whether to support or oppose the requested 10-1/2 foot Conditional
100 Use.

Report prepared by:

Thomas Paschke, City Planner |651-792-7074| thomas.paschke@cityofroseville.com

Attachments: A. July 11 PC packet B. Applicant provided illustrations

Agenda Date: **07/11/18**Agenda Item: **6a**

Prepared By



Department Approval



Agenda Section

Public Hearings

Item Description: Pursuant to Table 1004-6 and §1009 of the City Code, consider a request by United Properties for a Conditional Use to increase roof height from 45 feet to 55-1/2 feet (PF18-012)

1 APPLICATION INFORMATION

2 Applicant: United Properties
3 Location: 2630, 2644, 2654, 2656 and 2666 Lexington
4 Property Owner: Richard Sullivan and United Properties
5 Application Submission: 06/01/18; deemed complete 06/17/18
6 City Action Deadline: 07/31/18
7 Planning File History: PF15-015

8 Level of Discretion in Decision Making:

9 Actions taken on a Conditional Use request is quasi-judicial; the City's role is to determine the
10 facts associated with the request and weigh those facts against the legal standards in State
11 Statutes and City Code.

12 BRIEF INTRODUCTION

13 United Properties is seeking a Conditional Use (CU) to permit the construction of a senior
14 apartment complex 55-1/2 feet in height as measured from grade to the midpoint of the roof
15 truss. The Code permits a height of up to 45 feet in the High Density Residential-1 (HDR-1)
16 District and a Conditional Use for building height up to 65 feet in height.

17 PROPOSAL

18 The proposed four-story 96 unit market rate senior rental facility sits generally in the northeast
19 corner of Lexington and County Road C. The structure is proposed with a hip roof that extends
20 to 55-1/2 feet above grade, and which is an increase in roof height of 10-1/2 feet over the
21 permitted height in the HDR-1 district.

22 STAFF ANALYSIS

23 Planning Division staff has reviewed the proposal for allowance of additional building height in
24 the HDR-1 district and has the following comments:

- 25 • As previously discussed during consideration of text amendments dealing with building
26 height, there is an inherent limitation in both an established height and a limitation on the
27 number of stories, with the main limitation being flexibility in design of the structure. In the
28 case of the United Properties proposal, the height of each floor is just over 11 feet, which

29 leaves roughly 2-1/2 feet above the roof joist to design the hip roof truss system. Given all
30 the other factors one needs to apply to the truss design, it was not possible to achieve
31 compliance with the permitted 45 foot standard (measured from grade to the midpoint of the
32 roof truss) and therefore the CU is necessary.

- 33 • The proposed hip roof design fits well into the surrounding landscape, as the adjacent
34 Cherrywood has a hip roof, as does the four complexes within Parkview Terrace/Estates,
35 which lies east across Oxford Street.
- 36 • The area surrounding the site is well developed with two major roadways, an assisted living
37 facility, a condo complex, and the City Hall Campus. Due to the surrounding uses, this
38 minimum increase in roof height will have little or no impact of the surrounding area.

39 Below is the Planning Division's review and analysis of the general and specific CU criteria
40 provided in the City Code.

41 **C. General Standards and Criteria:** When approving a proposed Conditional Use, the Planning
42 Commission and City Council shall make the following findings:

- 43 1. *The proposed use is not in conflict with the Comprehensive Plan:* The use of the property for
44 the development of an apartment complex is a permitted use, while increased density and/or
45 building height requires a Conditional Use. The proposal to have 96 units satisfies the
46 density limitation, however the increase in height from 45 to 55-1/2 feet requires an approved
47 CU. The proposed project is supported within the General Land Use and Residential Area
48 Goals and Policies section of the 2030 Comprehensive Plan.
- 49 2. *The proposed use is not in conflict with any Regulating Maps or other adopted plans;* The
50 subject property in the northeast corner of County Road C and Lexington Avenue does not
51 have a regulating plan, nor is there a small area plan or other that guides future development.
- 52 3. *The proposed use is not in conflict with any City Code requirements;* The CU for increased
53 height is only one step in the project design process. That said, the City has received the first
54 set of plans that it will review against the Design Standards of the Residential Regulations
55 Chapter of the City Code. As for building height, the proposal achieves compliance with all
56 other applicable Code standards.
- 57 4. *The proposed use will not create an excessive burden on parks, streets, and other public*
58 *facilities:* Although the use will increase the number of residents, it will not create any
59 adverse or excessive impacts to parks, streets, or other public facilities.
- 60 5. *The proposed use will not be injurious to the surrounding neighborhood, will not negatively*
61 *impact traffic or property values, and will not otherwise harm the public health, safety, and*
62 *general welfare:* The proposed use of the property and the increased height of the building
63 will not be injurious to surrounding neighborhoods and will not negatively impact traffic,
64 property values, and will not otherwise harm public health, safety, and general welfare.

65 **PLANNING COMMISSION ACTION**
66 By motion, recommend approval of the CU requests pertaining to a 10-1/2 foot building height
67 increase (from 45 to 55-1/2 feet) for the proposed senior rental building in the northeast corner of
68 Lexington Avenue and County Road C.

69 **ALTERNATIVE ACTIONS**

- 70 **a.** Pass a motion to table the item for future action. An action to table must be tied to the need
71 for clarity, analysis, and/or information necessary to make a recommendation on the request.
72 **b.** Pass a motion recommending denial of the proposal. A motion to deny must include findings
73 of fact germane to the request.

Report prepared by:

Thomas Paschke, City Planner |651-792-7074| thomas.paschke@cityofroseville.com

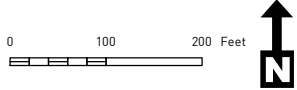
- Attachments:**
- A. Location map
 - B. Aerial map
 - C. Narrative, site Plan/building elevations

Attachment A for Planning File 18-012



Data Sources
 * Ramsey County GIS Base Map (6/9/2018)
 For further information regarding the contents of this map contact:
 City of Roseville, Community Development Department,
 2660 Civic Center Drive, Roseville MN

Disclaimer
 This map is neither a legally recorded map nor a survey and is not intended to be used as one. This map is a compilation of records, information and data located in various city, county, state and federal offices and other sources regarding the area shown, and is to be used for reference purposes only. The City does not warrant that the Geographic Information System (GIS) Data used to prepare this map are error free, and the City does not represent that the GIS Data can be used for navigational, tracking or any other purpose requiring exacting measurement of distance or direction or precision in the depiction of geographic features. If errors or discrepancies are found please contact 651-792-7085. The preceding disclaimer is provided pursuant to Minnesota Statutes §466.03, Subd. 21 (2000), and the user of this map acknowledges that the City shall not be liable for any damages, and expressly waives all claims, and agrees to defend, indemnify, and hold harmless the City from any and all claims brought by User, its employees or agents, or third parties which arise out of the user's access or use of data provided.



Attachment B for Planning File 18-012



Site Location

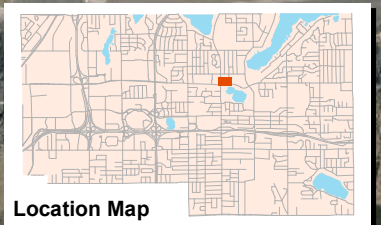
Data Sources

- * Ramsey County GIS Base Map (6/9/2018)
- * Aerial Data: Sanborn (4/2017)

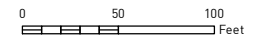
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Location Map



PROJECT NARRATIVE

Date:
June 1, 2018



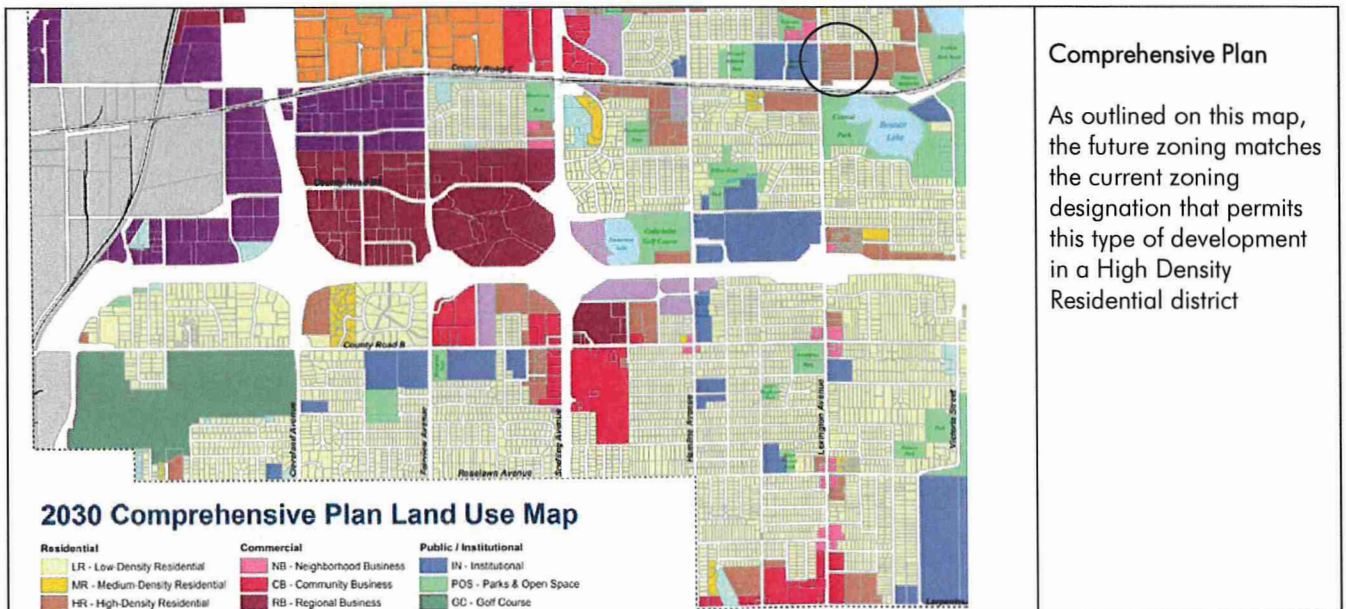
GENERAL DESCRIPTION

This is a proposal for a 96 unit luxury senior rental development located at the north east quadrant of the Lexington Ave and County Road C intersection. The project would be 4 stories in height with a pitched roof to feel more residential and to better blend with adjacent buildings. Since the building height measured from average grade to midpoint of roof will exceed 45'-0" a Conditional Use Permit will be requested for this development.

This building will be classified as a wood framed Type VA construction type that will have one level of below grade parking in a non-combustible Type IA garage. The exterior materials of the building will be a blend of brick, stone, metal siding and cement fiber board. Please refer to sheet SD_500 to review the building exteriors. Surface parking will be provided onsite for residents as well as guest parking. In addition to the surface parking an underground parking garage will be provided.

1. CITY COMPREHENSIVE PLAN

The current 2030 Comprehensive Plan indicates that this parcel is to be designated as a High Density Residential district.



2. ZONING

The current zoning for the site in question is High Density Residential District (HDR-1). This district is intended to promote flexible development standards for new residential developments and to allow innovative development patterns, consistent with the Comprehensive Plan (Section 1004.11). This proposal will comply with the intended zoning designation.

Density

Per table 1004-6 of the City's Zoning Ordinances, a maximum of 24 units/net acre is allowed in an HDR-1 district. This project is currently provided 96 units on a net area of 4.071 acres equaling 23.58 units / net acre.

Building Area

The current total gross building area equals 190,205 SF. Each floor value is listed on sheet SD_120. The typical area above podium where the apartments will be located measures 36,475 SF. Since this exceeds the allowable floor area per the IBC for this construction type and occupancy, a fire wall will be constructed to reduce the area and bring the area in to compliance.

Building Height

The maximum height for a Multi-Family HDR-1 building is limited to 45 feet. Our proposal currently measures 55'-6" from grade to the midpoint of the pitched roof. As a result, we will be submitting for a Conditional Use Permit for an increase in building height.

Parking Requirements

Vehicular: Per Section 1019.04 the minimum parking requirements for a Residential, Multi-family dwelling unit is listed as 1 space per bedroom plus .25 spaces per every 1 unit for visitor parking. Given our current unit mix, this proposed development will require a minimum of 178 stalls. However, Section 1019.05 allows for a 10% reduction for any parcel located within one-quarter mile of a transit stop. The intersection of Lexington and Woodhill has multiple bus stops, therefore, only 161 stalls are required as a minimum.

Our current proposal provides 47 new surface stalls and 120 garage parking stalls for a total of 167.

Bicycle: Parking spaces shall equal 10% of the automobile parking space requirements. Therefore, 17 stalls are required for this project. 9 stalls will be provided to serve guests and will be located near the main building entrance (within 50') and an additional 16 will be built as long term bike storage for the residents and located in the parking garage.

Group Usable Open Space

The proposed development provides for dedicated open space both internally and externally in the form of community rooms, fitness center, crafts shop, outdoor patio, resident gardens and lawn games spaces

3. PRELIMINARY PLAT

The current parcels on site are occupied by multiple single family homes that will be re-platted into one property as part of this proposed development.

4. DESIGN STANDARDS

MULTI-FAMILY DESIGN STANDARDS – SECTION 1004.06

- A. **Orientation of Buildings to Streets:** Buildings shall be oriented so that a primary entrance faces one of the abutting streets. In the case of corner lots, a primary entrance shall face the street from which the building is addressed. Primary entrances shall be defined by scale and design.

Based on the preliminary plan, it appears that a primary entrance will be designed to face Lexington Avenue – the primary street.

- B. **Street-facing Facade Design:** No blank walls are permitted to face public streets, walkways, or public open space. Street-facing facades shall incorporate offsets in the form of projections and/or recesses in the facade plane at least every 40 feet of facade frontage. Wall offsets shall have a minimum depth of 2 feet. Open porches and balconies are encouraged on building fronts and may extend up to 8 feet into the required setbacks.

In addition, at least one of the following design features shall be applied on a street-facing facade to create visual interest:

- Dormer windows or cupolas;
- Recessed entrances;
- Covered porches or stoops;
- Bay windows with a minimum 12-inch projection from the facade plane;
- Eaves with a minimum 6 inch projection from the facade plane; or
- Changes in materials, textures, or colors.

The current building design incorporates a variety of these elements and will comply with the requirements of this section.

- C. **Four-sided Design:** Building design shall provide consistent architectural treatment on all building walls. All sides of a building must display compatible materials, although decorative elements and materials may be concentrated on street-facing facades. All facades shall contain window openings.

Current design will meet the required criteria of the section.

- D. **Maximum Length:** Building length parallel to the primary abutting street shall not exceed 160 feet without a visual break such as a courtyard or recessed entry.

Although the leg along Lexington Ave exceeds 160 feet, the building's exterior is articulated in such a way that it breaks down the façade in to more human scale individual elements, thus creating multiple visual breaks from the overall mass of the building. These articulations create rhythmic bays that look and feel very residential despite being 4 stories.

As an alternative to a courtyard or recessed entry, we are proposing to make a large centered bay projection that serves as a large-scale architectural gesture to visually break up the plane of the exterior wall.

Our interpretation of the city ordinance is that there is a desire to avoid long walls that effectively turn their back away from the primary street. Rather, these bays include large balconies that bring interest and activity to this façade.

- E. **Landscaping of Yards:** Front yards must be landscaped according to Chapter 1011, Property Performance Standards.

Landscaping will be provided in accordance with these Performance Standards.

Landscape shall review the requirements of the Preservation and Restoration Plan for tree replacement. An existing tree survey has been performed on site.

- F. **Detached Garages:** The exterior materials, design features, and roof forms of garages shall be compatible with the principal building served.

Does not apply

- G. **Attached Garages:** Garage design shall be set back and defer to the primary building face. Front loaded garages (toward the front street), if provided shall be set back a minimum of 5 feet from the predominant portion of the principal use. (Ord. 1405, 2-28-2011)

Does not apply to underground parking

- H. **Surface Parking:** Surface parking shall not be located between a principal building front and the abutting primary street except for drive/circulation lanes and/or handicapped parking spaces. Surface parking adjacent to the primary street shall occupy a maximum of 40% of the primary street frontage and shall be landscaped according to Chapter 1019, Parking and Loading Areas.

Based on the plan provided, the parking lot on the northern end of the building does not factor into this requirement as the amount of lot that lies in front of the building is very nominal. Also, this parking lot will be allowed to have a mix of parking and not just handicapped spaces.

The additional proposed parking at Cherrywood Pointe to the north will require a variance that will be submitted by the developer concurrent to the CUP.

- I. **Exterior Wall Finishes:** All exterior wall finishes on any building must be a combination of the following materials: face brick, natural or cultured stone, textured concrete block, stucco, wood, vinyl, siding, fiber-reinforced cement board and prefinished metal, or similar materials approved by the Community Development Department. (Ord.

1494A, 2-22-2016)

Please refer to sheet SD500 for review of the proposed exterior materials. High quality and minimal maintenance materials will be used that comply with the requirements of this section.

GENERAL PROJECT DESCRIPTION

1. EXISTING LAND USE

Currently, these parcels serve single family homes.

2. PHASING AND CONSTRUCTION SCHEDULE

Pending the city review process, the current project schedule will begin construction November 2018 and complete in April 2020.

3. DEVELOPMENT METHOD

Project will be owned and operated by United Properties, a Minneapolis based developer.

4. LEGAL INSTRUMENTS.

A survey had been completed by EG Rud & Sons. The property will be re-platted to be one parcel.

5. LIGHTING

Building accent lighting will be provided as indicated on the exterior elevations. Additionally, parking lot lighting will be provided in accordance to the minimum and maximum lumens as stipulated in the city ordinances.

6. LEVEL 1 ENVIRONMENTAL

In progress.

7. STORM WATER CALCS

Storm Water Management Plan has been completed based off geotechnical report for Cherrywood Pointe property to north. Soil borings are currently underway and calcs will be revised at later date.

8. WATER AND WETLAND DETERMINATION

See wetland delineation report and civil site plan.

9. SOILS

Soil boring logs are currently being produced and will be submitted to the city as soon as available. For the time being, the geotechnical report for the Cherrywood Pointe property was available to base the initial civil and storm water management design from. These plans will be updated accordingly when the geotechnical report is available.

10. EXISTING STRUCTURES

Existing single family homes and paving will be demolished.

VARIANCE REQUESTS

1. **Accessible Parking at Existing Cherrywood Surface lot to North:** City code only permits accessible parking stalls to be located between the building and the primary street. Existing lot at Cherrywood Pointe currently provides only accessible stalls, but as part of this development additional guest parking stalls would be provided to the same existing lot.

Roseville - Senior Luxury Rentals

Lexington Ave N & County Rd C, Roseville, MN, 55113

1301 American Blvd. E.
 Suite 100
 Bloomington, MN 55425
 tel: (612) 879-6000
 fax: (612) 879-6666
 www.kaasewilson.com

Civil/Landscape:

Structural:

MEP:

Interiors

**Roseville - Senior
 Luxury Rentals**

Lexington Ave N & County Rd C,
 Roseville, MN, 55113

United Properties

Project Number 18030

Date Entitlements 6-1-18

Drawn By Author

Checked By Checker

**NOT FOR
 CONSTRUCTION**

Date

Revision

Rev. No.

Cover Sheet

A000



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 tel: (612) 879-6000
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United Properties

Project Number 18030

Date Entitlements 6-1-18

Drawn By Author

Checked By Checker

**NOT FOR
 CONSTRUCTION**

Date

Revision

Rev. No.

Site Plan

As indicated

SD_120

	Count	Unit Gross Area		Unit Net Area		Rooms				ADA Type	
		Main Floor	Mezzanine	Main Floor	Mezzanine	Bed	Bath	Den	Loft/Deck		
		Total	Total	Total	Total						
Unit A4	7	718 R ²				1	1				
Unit B1	8	955 R ²				1	1	1			
Unit B1x	8	948 R ²				1	1	1			
Unit B2	11	1,113 R ²				1	1	1			
Unit B3	4	1,083 R ²				2	2		1		
Unit C1	16	1,245 R ²				1	1				
Unit C4	7	1,169 R ²				2	2				
Unit C5	8	1,333 R ²				2	2				
Unit C7	2	1,209 R ²				2	2				
Unit D1	8	1,478 R ²				2	2	1			
Unit D3	4	1,559 R ²			1,459 R ²	3	2	0			
Unit D5	5	1,417 R ²				2	2	1			
Unit D7	4	1,588 R ²				2	2	1			
Unit S2	4	534 R ²						1			
Grand total: 96	96										

Unit Mix Requirements: 1 PS/Bed, 25 PS/Visitor

Studio (4) - 4
 1 BR (24) - 24
 2 BR (50) - 100
 3 BR (4) - 12
 + 124
 23/96 = 34

Total Required: 178

Zoning Code Parking Reduction: A 10% reduction may be applied to developments located within 1/4 mile of a public transportation stop. (Lexington & Woodhill Dr)

Total Required After Reduction: 161

Parking Requirement
 1/4" = 1'-0"

Total Gross Area	
Level	Area
Level 4	36,475 R ²
Level 3	36,475 R ²
Level 2	35,085 R ²
Level 1	36,497 R ²
Level -1	45,716 R ²
Grand total	190,248 R ²

Parking Schedule	
Type	Count
Level -1	120
	120
	120
SURFACE PARKING	47

Unit Mix by Floor	
Name	Count
Level 1	
Unit A4	1
Unit B1	2
Unit B1x	2
Unit B2	2
Unit B3	1
Unit C1	4
Unit C4	1
Unit C5	2
Unit D1	2
Unit D3	1
Unit D7	1
Unit S2	1
	20
Level 2	
Unit A4	2
Unit B1	2
Unit B1x	2
Unit B2	3
Unit B3	1
Unit C1	4
Unit C4	2
Unit C5	2
Unit D1	2
Unit D3	1
Unit D5	1
Unit D7	1
Unit S2	1
	24
Level 3	
Unit A4	2
Unit B1	2
Unit B1x	2
Unit B2	3
Unit B3	1
Unit C1	4
Unit C4	2
Unit C5	2
Unit D1	1
Unit D3	2
Unit D5	2
Unit D7	1
Unit S2	1
	26
Level 4	
Unit A4	2
Unit B1	2
Unit B1x	2
Unit B2	3
Unit B3	1
Unit C1	4
Unit C4	2
Unit C5	2
Unit D1	1
Unit D3	2
Unit D5	2
Unit D7	1
Unit S2	1
	26
Grand total: 96	96

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6/7/2018 1:04:34 PM

Copyright Kaas Wilson Architects

1 Level 1 - Site Plan
 1" = 40'-0"





Civil/Landscape:

Structural:

MEP:

Interiors

**Roseville - Senior
 Luxury Rentals**

Lexington Ave N & County Rd C,
 Roseville, MN, 55113

United Properties

Project Number 18030

Date Entitlements 6-1-18

Drawn By Author

Checked By Checker

**NOT FOR
 CONSTRUCTION**

Date

Revision

Rev. No.

Rendered Site
 Plan

SD_121

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 fax: (612) 879-6666
 www.kaaswilson.com

Civil/Landscape:

Structural:

MEP:

Interiors

**Roseville - Senior
 Luxury Rentals**

Lexington Ave N & County Rd C,
 Roseville, MN, 55113

United Properties

Project Number 18030

Date Entitlements 6-1-18

Drawn By Author

Checked By Checker

NOT FOR
 CONSTRUCTION

Date

Revision

Rev. No.

Floor Plan

As indicated

SD_122

Residential Unit Mix													
	Count	Unit Gross Area			Unit Net Area			Rooms					
		Main Floor	Mezzanine	Total	Main Floor	Mezzanine	Total	Bed	Bath	Den	Loft / Deck	ADA Type	
Unit A4	7	718						1	1				
Unit B1	8	955						1	1	1			
Unit B1x	8	948						1	1	1			
Unit B2	11	1,113						1	1	1			
Unit B3	4	1,083						1	1	1			
Unit C1	16	1,245						2	2				
Unit C4	7	1,199						2	2				
Unit C5	8	1,333						2	2				
Unit C7	2	1,209						2	2				
Unit D1	8	1,478						2	2	1			
Unit D3	4	1,559				1,459		2	2	0			
Unit D5	6	1,417						2	2	1			
Unit D7	4	1,586						2	2	1			
Unit S2	4	534						2	2	1			
Grand total:	98												

Unit Mix Parking Requirements: 1 P/Bed, .25 P/Unit

Grade 4) - 4
 1 000 (20) - 20
 2 000 (20) - 40
 3 000 (20) - 60
 4 000 (20) - 80
 5 000 (20) - 100
 6 000 (20) - 120
 7 000 (20) - 140
 8 000 (20) - 160
 9 000 (20) - 180
 10 000 (20) - 200
 11 000 (20) - 220
 12 000 (20) - 240
 13 000 (20) - 260
 14 000 (20) - 280
 15 000 (20) - 300
 16 000 (20) - 320
 17 000 (20) - 340
 18 000 (20) - 360
 19 000 (20) - 380
 20 000 (20) - 400

Total Required: 178
 Zoning Code Parking Reduction: A 10% reduction may be applied to developments located within 500 feet of a public transportation stop. (See Ordinance 15.01)

Total Required After Reduction: 161

Parking Requirement
 1/4" = 1'-0"

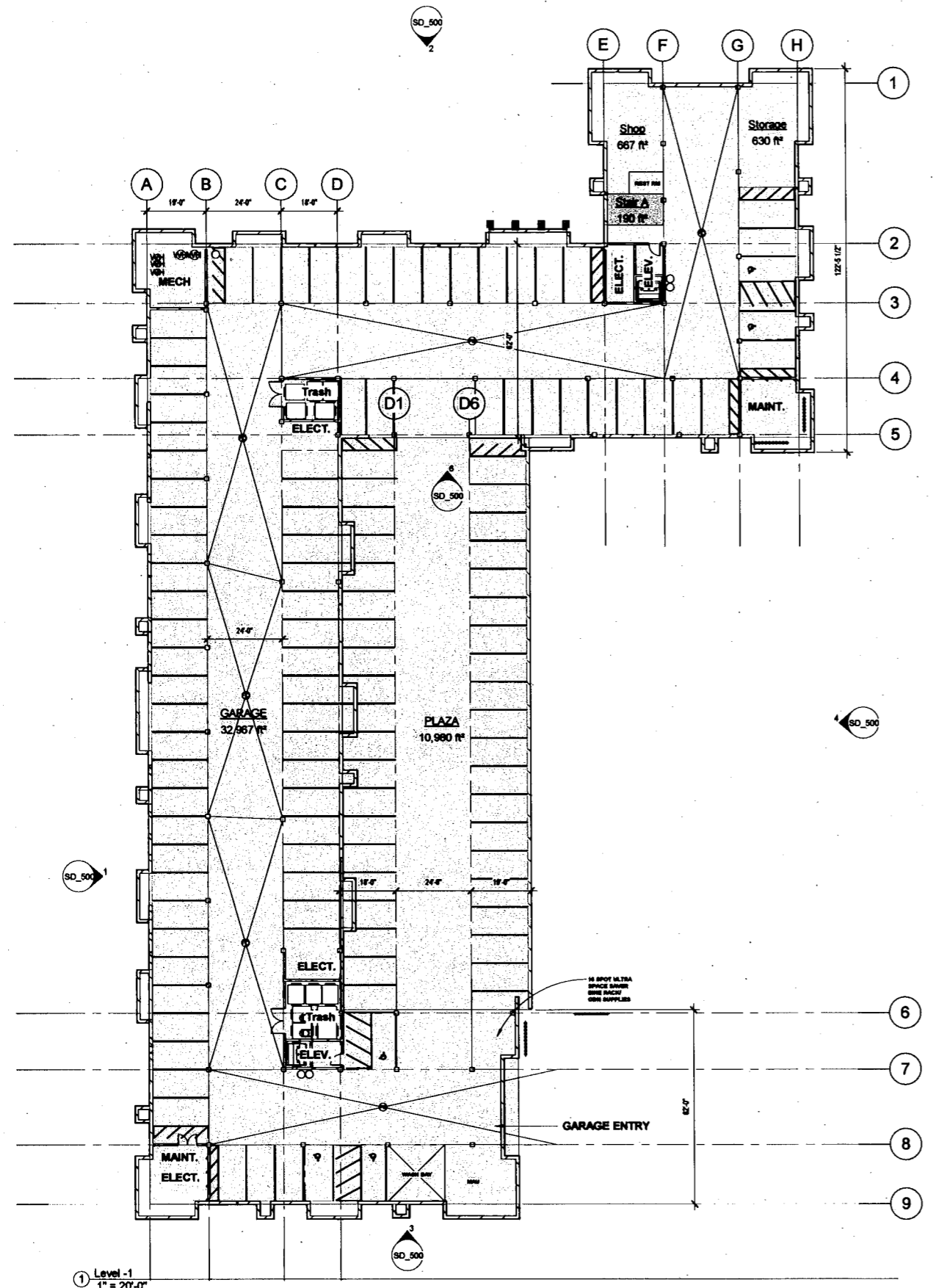
Total Gross Area	
Level	Area
Level 4	36,475
Level 3	36,475
Level 2	35,085
Level 1	36,454
Level -1	45,718
Grand total	190,205

Parking Schedule	
Type	Count
Level -1	
120	
120	
120	

Unit Mix by Floor	
Name	Count
Level 1	
Unit A4	1
Unit B1	2
Unit B1x	2
Unit B2	2
Unit B3	1
Unit C1	4
Unit C4	1
Unit C5	2
Unit D1	2
Unit D3	1
Unit D7	1
Unit S2	1
	20
Level 2	
Unit A4	2
Unit B1	2
Unit B1x	2
Unit B2	3
Unit B3	1
Unit C1	4
Unit C4	2
Unit C5	2
Unit D1	2
Unit D3	1
Unit D5	1
Unit D7	1
Unit S2	1
	24
Level 3	
Unit A4	2
Unit B1	2
Unit B1x	2
Unit B2	3
Unit B3	1
Unit C1	4
Unit C4	2
Unit C5	2
Unit C7	1
Unit D1	2
Unit D3	1
Unit D5	2
Unit D7	1
Unit S2	1
	26
Level 4	
Unit A4	2
Unit B1	2
Unit B1x	2
Unit B2	3
Unit B3	1
Unit C1	4
Unit C4	2
Unit C5	2
Unit C7	1
Unit D1	2
Unit D3	1
Unit D5	2
Unit D7	1
Unit S2	1
	26
Grand total:	98

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1 Level -1
 1" = 20'-0"



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Civil/Landscape:

Structural:

MEP:

Interiors

Roseville - Senior
Luxury Rentals
Lexington Ave N & County Rd C,
Roseville, MN, 55113

United Properties

Project Number 18030
Date Entitlements 6-1-18
Drawn By Author
Checked By Checker

NOT FOR CONSTRUCTION

Date

Revision

Rev. No.

Floor Plan

1" = 20'-0"

SD_123

Residential Unit Mix												
	Count	Unit Gross Area			Unit Net Area			Rooms				
		Main Floor	Mezzanine	Total	Main Floor	Mezzanine	Total	Bed	Bath	Den	Loft / Deck	ADA Type
Unit A4	7	718						1	1			
Unit B1	8	955						1	1	1		
Unit B1x	8	948						1	1	1		
Unit S2	11	1,113						1	1	1		
Unit B3	4	1,083						1	1	1		
Unit C1	16	1,245						2	2			
Unit C4	7	1,169						2	2			
Unit C5	8	1,333						2	2			
Unit C7	2	1,209						2	2			
Unit D1	8	1,478						2	2	1		
Unit D3	4	1,559				1,459		3	2	0		
Unit D5	5	1,417						2	2	1		
Unit D7	4	1,588						2	2	1		
Unit S2	4	534								1		
Grand total:	96											

Total Gross Area	
Level	Area
Level 4	36,475
Level 3	36,475
Level 2	35,085
Level 1	36,497
Level -1	45,718
Grand total	190,248

Parking Schedule	
Type	Count
Level -1	120
	120
	120

Unit Mix by Floor	
Level	Count
Level 1	
Unit A4	1
Unit B1	2
Unit B1x	2
Unit S2	2
Unit B3	1
Unit C1	4
Unit C4	1
Unit C5	2
Unit D1	2
Unit D3	1
Unit D7	1
Unit S2	1
	20

Level	Count
Level 2	
Unit A4	2
Unit B1	2
Unit B1x	2
Unit B2	3
Unit B3	1
Unit C1	4
Unit C4	2
Unit C5	2
Unit D1	2
Unit D3	1
Unit D5	1
Unit D7	1
Unit S2	1
	24

Level	Count
Level 3	
Unit A4	2
Unit B1	2
Unit B1x	2
Unit B2	3
Unit B3	1
Unit C1	4
Unit C4	2
Unit C5	2
Unit C7	1
Unit D1	2
Unit D3	1
Unit D5	2
Unit D7	1
Unit S2	1
	26

Level	Count
Level 4	
Unit A4	2
Unit B1	2
Unit B1x	2
Unit B2	3
Unit B3	1
Unit C1	4
Unit C4	2
Unit C5	2
Unit C7	1
Unit D1	2
Unit D3	1
Unit D5	2
Unit D7	1
Unit S2	1
	26

Level	Count
Level 4	
Unit A4	2
Unit B1	2
Unit B1x	2
Unit B2	3
Unit B3	1
Unit C1	4
Unit C4	2
Unit C5	2
Unit C7	1
Unit D1	2
Unit D3	1
Unit D5	2
Unit D7	1
Unit S2	1
	26

Level	Count
Level 4	
Unit A4	2
Unit B1	2
Unit B1x	2
Unit B2	3
Unit B3	1
Unit C1	4
Unit C4	2
Unit C5	2
Unit C7	1
Unit D1	2
Unit D3	1
Unit D5	2
Unit D7	1
Unit S2	1
	26

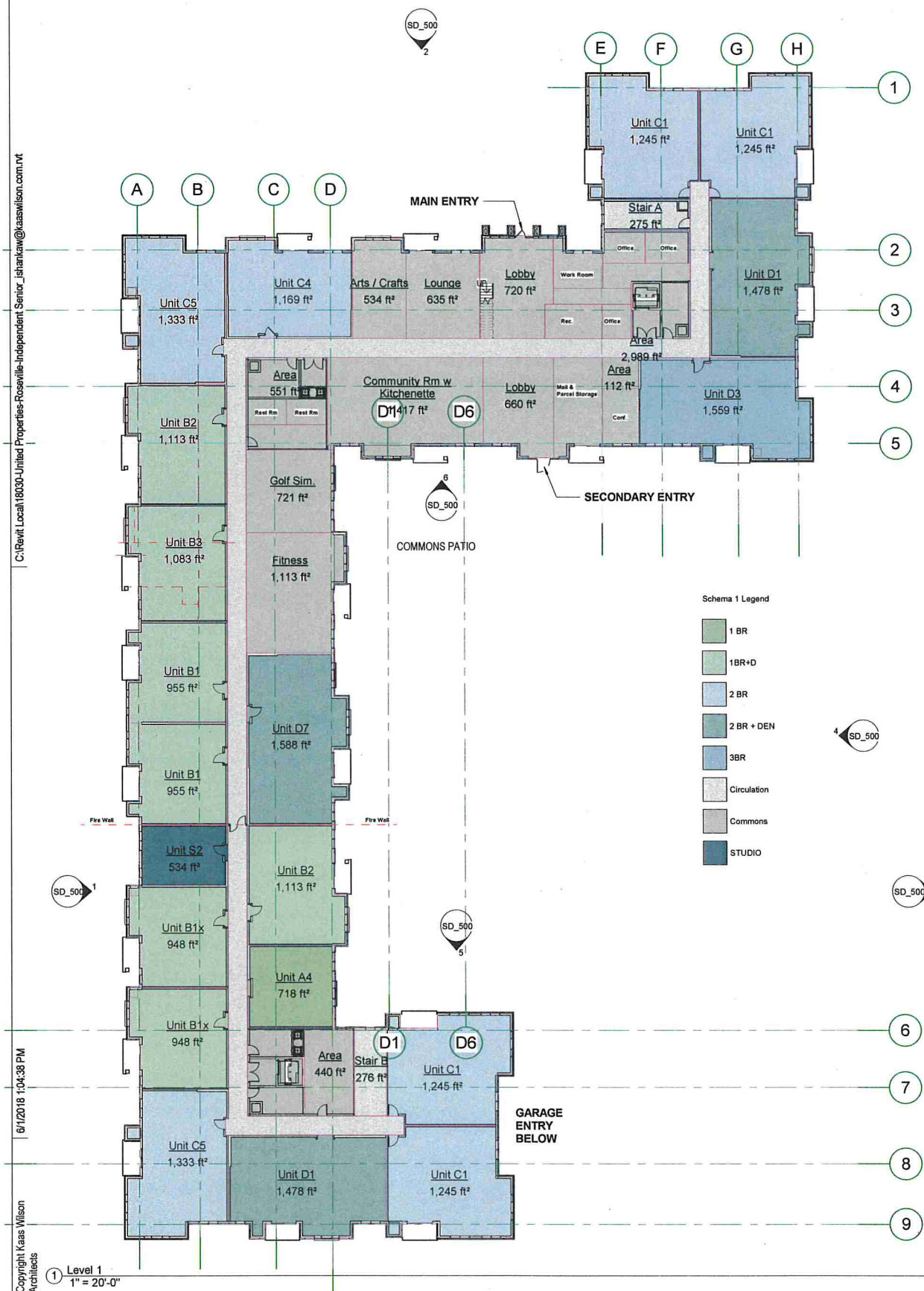
Level	Count
Level 4	
Unit A4	2
Unit B1	2
Unit B1x	2
Unit B2	3
Unit B3	1
Unit C1	4
Unit C4	2
Unit C5	2
Unit C7	1
Unit D1	2
Unit D3	1
Unit D5	2
Unit D7	1
Unit S2	1
	26

Level	Count
Level 4	
Unit A4	2
Unit B1	2
Unit B1x	2
Unit B2	3
Unit B3	1
Unit C1	4
Unit C4	2
Unit C5	2
Unit C7	1
Unit D1	2
Unit D3	1
Unit D5	2
Unit D7	1
Unit S2	1
	26

Level	Count
Level 4	
Unit A4	2
Unit B1	2
Unit B1x	2
Unit B2	3
Unit B3	1
Unit C1	4
Unit C4	2
Unit C5	2
Unit C7	1
Unit D1	2
Unit D3	1
Unit D5	2
Unit D7	1
Unit S2	1
	26



2 Level 2
1" = 20'-0"



1 Level 1
1" = 20'-0"

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 Lexington Ave N & County Rd C,
 Roseville, MN, 55113

United Properties

Project Number	18030
Date	Entitlements 6-1-18
Drawn By	Author
Checked By	Checker

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Date

Revision

Rev. No.

Floor Plan

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SD_124

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United Properties

Project Number	18030
Date	Entitlements 6-1-18
Drawn By	Author
Checked By	Checker

**NOT FOR
CONSTRUCTION**

Date

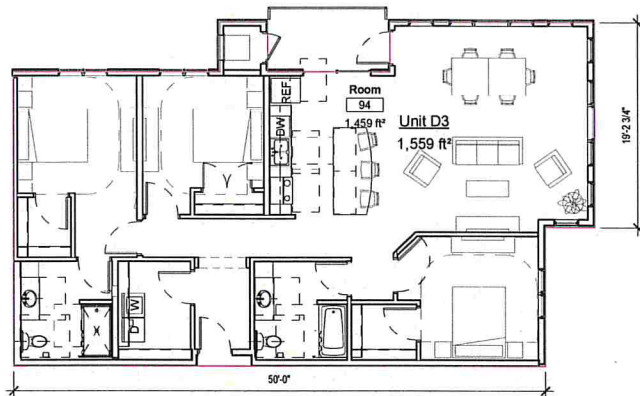
Revision

Rev. No.

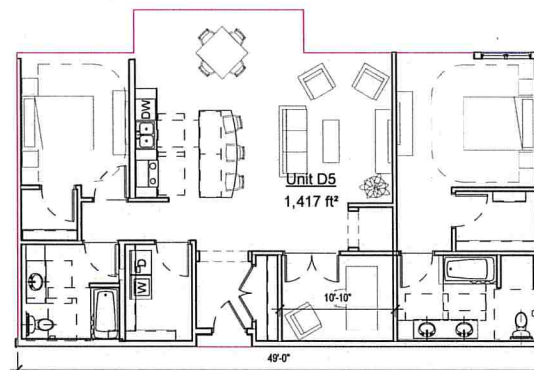
Unit Plans

1/8" = 1'-0"

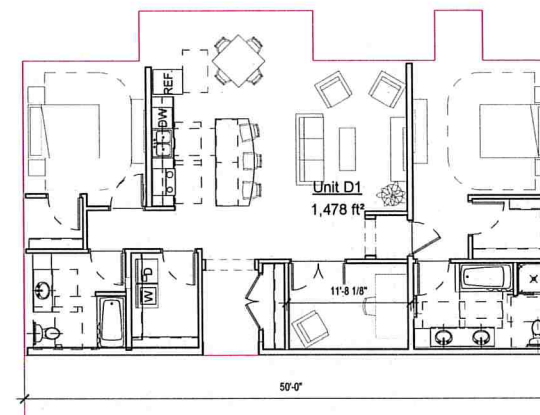
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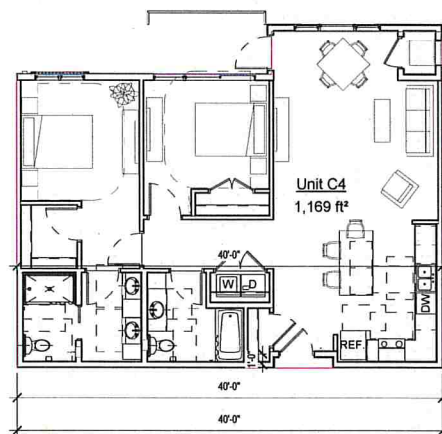
② Unit Plan Base - D3
1/8" = 1'-0"



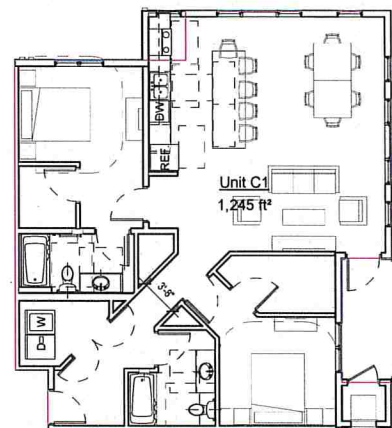
① Unit Plan Base - D5
1/8" = 1'-0"



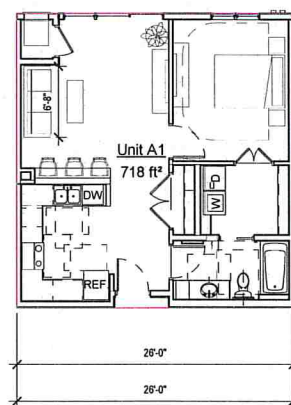
④ Unit Plan Base - D1
1/8" = 1'-0"



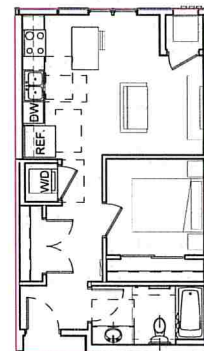
③ Unit Plan Base - C4
1/8" = 1'-0"



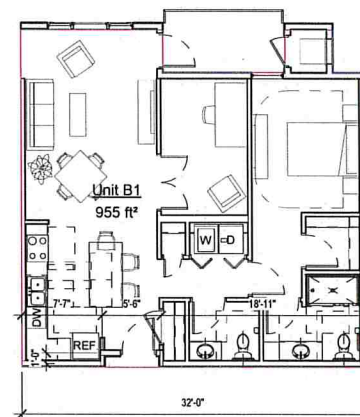
⑦ Unit Plan Base - C1
1/8" = 1'-0"



⑤ Unit Plan Base - A1
1/8" = 1'-0"



⑥ Unit Plan Base - S3
1/8" = 1'-0"



⑧ Unit Plan Base - B1
1/8" = 1'-0"

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① Elevation 1 - a
1/16" = 1'-0"



② 1 - a
1/16" = 1'-0"



④ 2 - a
1/16" = 1'-0"



③ Elevation 3 - a
1/16" = 1'-0"



⑤ Elevation 4 - a
1/16" = 1'-0"

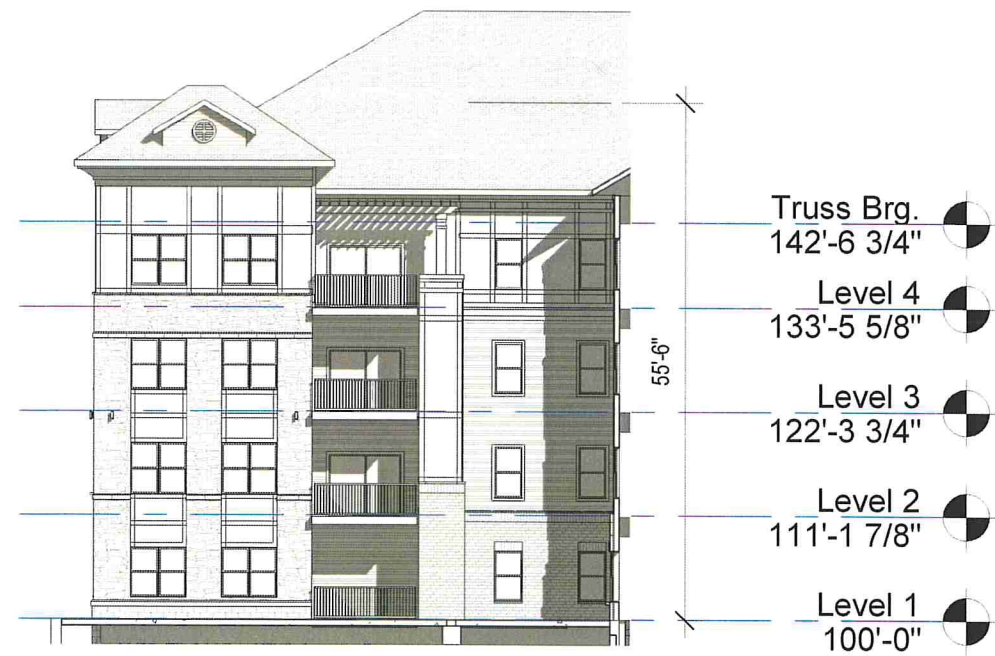


⑥ Elevation 5 - a
1/16" = 1'-0"

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1 1 - a - Copy
1" = 20'-0"



2 Elevation 4 - a - Copy
1" = 20'-0"

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1 Elevation 2 - a - Copy
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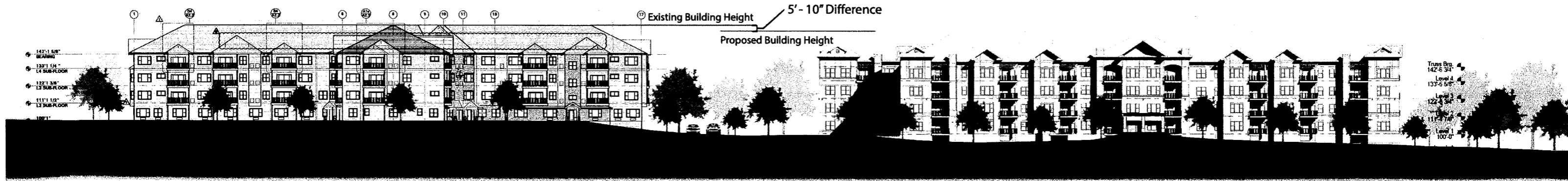
Thomas Paschke

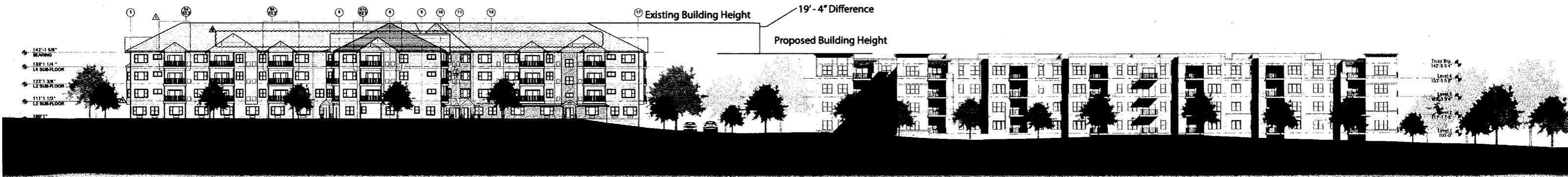
From: Thomas Paschke
Sent: Wednesday, July 25, 2018 8:35 AM
To: Thomas Paschke
Subject: FW: United Properties - Senior Rental Additional Graphics
Attachments: Building Height Elevation - Flat Roof Concept.pdf



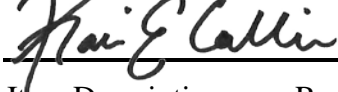








Department Approval



Agenda Section

Public Hearings

Item Description: Request for approval of a preliminary plat to subdivide a residential property into three lots and incorporate the two un-addressed parcels to the north of the subject property as additional lots in the plat. (PF18-011)

1

APPLICATION INFORMATION

Applicant: JRD, LLC

Location: 2237 Cleveland Avenue

Property Owner: JRD, LLC

Open House Meeting: N/A

Application Submission: Received and considered complete June 1, 2018

City Action Deadline: September 29, 2018, per Minn. Stat. 462.358 subd. 3b

GENERAL SITE INFORMATION

Land Use Context

	Existing Land Use	Guiding	Zoning
Site	One-family residential, detached	LR	LDR-1
North	Highway interchange		
West	One-family residential, detached	LR	LDR-1
East	Multi-family residential (across Cleveland Avenue and highway exit/entrance lanes)	HR	HDR-1
South	One-family residential, detached	LR	LDR-1 LDR-2

Notable Natural Features: substantial number of “heritage” and “significant” trees, and significant grades

Planning File History: **1970** (PF559) Approval of minor subdivision creating essentially the parcel that was further subdivided in 2017

1996 (PF2842) Denial of request to re-plat the abutting parcel to the west, adjacent to Acorn Road, which would have incorporated a portion of the subject property

2017 (PF17-016) Approval of minor subdivision creating the current configuration of 2237 Cleveland Avenue and the two unaddressed parcels immediately to the north

1 **BACKGROUND**

2 The applicant proposes to remove the existing house at 2237 Cleveland Avenue and subdivide
3 the residential property resulting in three residential properties for development of three new
4 single-family detached homes on Lots 3, 4, and 5 of the proposed Midland Crest plat. The two
5 undeveloped parcels to the north, which were created by the minor subdivision approved in 2017
6 (PF17-016), would become Lots 1 and 2 of the proposed plat. The proposed preliminary plat is
7 illustrated in Attachment C, along with other development information.

8 When exercising the “quasi-judicial” authority on a subdivision request, the role of the City is to
9 determine the facts associated with a particular request and apply those facts to the legal
10 standards contained in the ordinance and relevant state law. In general, if the facts indicate the
11 application meets the relevant legal standards and will not compromise the public health, safety,
12 and general welfare, then the applicant is likely entitled to the approval. The City is, however,
13 able to add conditions to a subdivision approval to ensure that potential impacts to parks,
14 schools, roads, storm sewers, and other public infrastructure on and around the subject property
15 are adequately addressed. Subdivisions may also be modified to promote the public health,
16 safety, and general welfare, and to provide for the orderly, economic, and safe development of
17 land, and to promote housing affordability for all levels.

18 **ANALYSIS OF PROPOSAL**

19 Roseville’s Development Review Committee (DRC) met on June 7 and July 19, 2018, to review
20 the proposed subdivision plans. Below are the comments based on the DRC’s review of the
21 application.

22 Proposed Lots

23 The existing boundary lines separating Lot 1/Lot 2 and Lot 2/Lot 3, and the proposed new
24 boundary lines separating Lot 3 Lot /4 and Lot 4/Lot 5 are very nearly radial to the front lot line,
25 coinciding with the right-of-way line of Cleveland Avenue; the right-of-way is generally curving
26 in that location, but the curve is irregular because it does not have a consistent radius. Section
27 1103.05.B of the Subdivision Code states that subdivisions creating new parcels for single-
28 family homes will not be approved if those parcels are not “appropriate for their location and
29 suitable for residential development,” and goes on to identify characteristics of the side boundary
30 lines of lots which are appropriate for their location and suitable for residential development.
31 Planning Division staff believes that the essentially radial proposed side boundary lines conform
32 to characteristic “a” identified in this section of the code. Items “b” and “c” in the list of
33 characteristics of appropriate-and-suitable lots involve new side property lines that are
34 approximately parallel to the side lines of the parcel being subdivided, but of course, such
35 parallel lines are impossible in situations like this, which involve side lines that are
36 approximately radial to a curving front property line.

37 The proposed parcels exceed all of the size parameters established in §1004.08 (LDR-1
38 Districts). The approximate dimensions and lot areas are as follows.

	Front Width	Depth	Area	Rear Width
Lot 1	87 ft.	216 ft.	14,190 sq. ft.	45 ft.
Lot 2	87 ft.	218 ft.	15,260 sq. ft.	55 ft.
Lot 3	85 ft.	225 ft.	15,785 sq. ft.	55 ft.
Lot 4	85 ft.	232 ft.	14,915 sq. ft.	45 ft.
Lot 5	89 ft.	212 ft.	14,110 sq. ft.	45 ft.

39 Lots 1 and 2 are essentially the same as the existing, unaddressed parcels created in the 2017
40 minor subdivision (PF17-016), except:

- 41 • their depths and areas were reduced in order to incorporate the rear of the parcels in
42 Outlot A, which will be utilized for storm water management facilities for all five lots.
- 43 • the widths of the rear of the lots were increased in order to conform to the new minimum
44 standard established with the adoption of the new Subdivision Code in July 2017.

45 Easements

46 The drainage and utility easements shown at the margins of the proposed parcels meet or exceed
47 the 10-foot width requirement established in §1103.03 of the Subdivision Code. Most of the
48 easements are shown at 12 feet wide, and those may be reduced unless the approved drainage
49 and storm water mitigation plans rely on the easements as proposed.

50 Tree Preservation

51 The tree preservation and replacement plan requirements §1011.04 provide a way to quantify the
52 amount of tree material being removed for a given project and to calculate the potential tree
53 replacement obligation. The applicant has provided these calculations, and they are included in
54 Attachment C. This is a preliminary calculation at this point, however, based on the presumed
55 development of the proposed lots, and formal tree preservation and replacement plans will be
56 required at the time building permit applications are submitted for the new parcels if the
57 proposed subdivision is approved. Roseville’s Contracting Forester, Mark Rehder, has reviewed
58 the plan and observed that while it may be upsetting to see healthy trees cut down, the applicants
59 have gone “above and beyond” the requirements to preserve as much as they could with such a
60 development proposal.

61 Storm Water Management

62 The new Subdivision Code and revised storm water management standards include full
63 compliance with water quality treatment requirements on all new lots created through a platting
64 or subdivision process. The grading and storm water management plan illustrated in Attachment
65 C addresses only Lots 3 – 5, corresponding to the subdivision of 2237 Cleveland Avenue
66 because a preliminary storm water plan for Lots 1 and 2 was already reviewed with the
67 subdivision of those parcels in 2017 and the current plan is consistent with the 2017 plan. Based
68 on his review of the detailed technical specifications of the current SWMP, the City Engineer has
69 offered the following statement

70 According to their stormwater management plan and their draft drainage plans, they meet the
71 requirements for capturing the additional storm water runoff. The proposed basins would mitigate
72 any impacts from additional storm water runoff. The details need to be finalized [pursuant to the
73 ultimate development plans], but Engineering staff supports the application for the lot split.

74 Like the tree preservation plan, the storm water management plan reviewed with a plat proposal
75 is not intended to be approved with the plat as the final storm water management plan. Instead,
76 the tree preservation and storm water management plans reviewed with a plat proposal are
77 intended to demonstrate that the standard City Code requirements pertaining to tree preservation
78 and storm water management can be met as the proposed project is implemented.

79 Park Dedication

80 Although the Midland Crest plat would include five lots for development of single-family,
81 detached homes, the proposal entails subdividing the 2237 Cleveland Avenue parcel into three
82 lots and incorporating the two existing parcels to the north. The proposed subdivision of 2237
83 Cleveland Avenue does, however, qualify for park dedication under the newly adopted
84 requirements because the subject property is greater than one acre and results in a net increase of
85 two residential development sites. The Parks and Recreation Commission met on July 12, 2018,
86 to discuss the proposal and recommended a dedication of cash in lieu of land. The 2018 Fee
87 Schedule indicates that the pertinent park dedication fee is \$4,000 per residential unit. If the City
88 Council approves the cash dedication, approval of the final plat should include a condition
89 requiring the applicant to submit payment of \$8,000 prior to filing the plat at Ramsey County.

90 **PUBLIC COMMENT**

91 At the time this RPCA was prepared, Planning Division staff has one phone call in support of the
92 application because it conforms to all applicable code standards.

93 **RECOMMENDED ACTION**

94 **By motion, recommend approval of the proposed preliminary Midland Crest plat of the**
95 **residential property at 2237 Cleveland Avenue and the two adjacent parcels to the north,**
96 based on the content of this RPCA, public input, and Planning Commission deliberation.

97 **ALTERNATIVE ACTIONS**

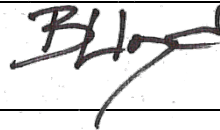
98 **A) Pass a motion to table the item for future action.** An action to table must be based on
99 the need for additional information or further analysis to make a recommendation on the
100 request. Tabling beyond September 5, 2018, may require extension of the 120-day action
101 deadline established in Minn. Stat. 462.358 subd. 3b to avoid statutory approval.

102 **B) Pass a motion to recommend denial of the request.** A recommendation of denial
103 should be supported by specific findings of fact based on the Planning Commission's
104 review of the application, applicable zoning or subdivision regulations, and the public
105 record.

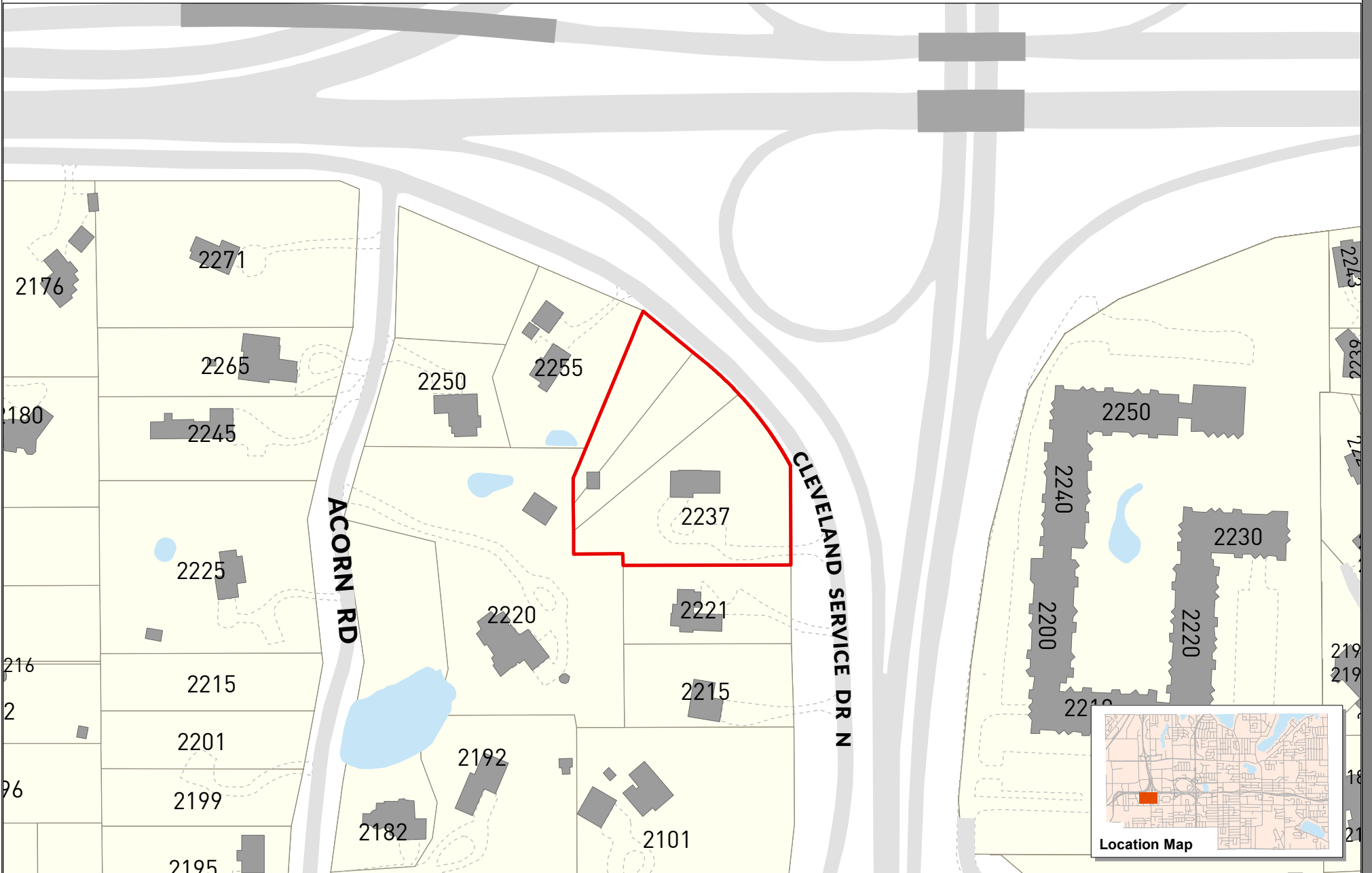
Attachments: A: Area map
B: Aerial photo

C: Proposed subdivision, grading and
drainage plan, and tree replacement
calculation

Prepared by: Senior Planner Bryan Lloyd
651-792-7073
bryan.lloyd@cityofroseville.com



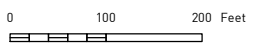
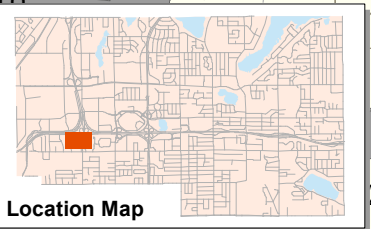
Attachment A for Planning File 18-011



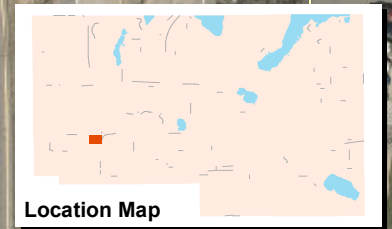

Site Location

Data Sources
 * Ramsey County GIS Base Map (6/9/2018)
 For further information regarding the contents of this map contact:
 City of Roseville, Community Development Department,
 2660 Civic Center Drive, Roseville MN

Disclaimer
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Attachment B for Planning File 18-012



Location Map



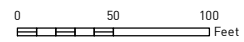
Prepared by:
Community Development Department
Printed: June 26, 2018



Site Location

Data Sources
* Ramsey County GIS Base Map (6/9/2018)
* Aerial Data: Sanborn (4/2017)
For further information regarding the contents of this map contact:
City of Roseville, Community Development Department,
2660 Civic Center Drive, Roseville MN

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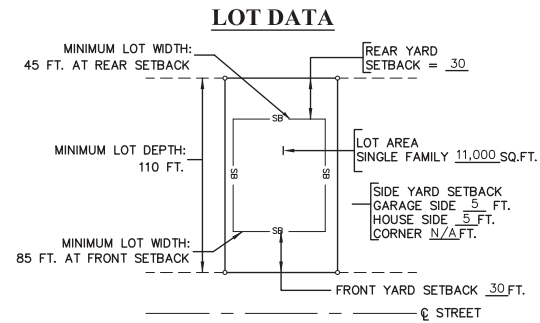
EXISTING CONDITIONS OF "MIDLAND CREST"

FOR: JRD, LLC

RPCA Attachment C

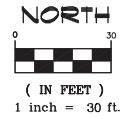
LEGEND

- DENOTES EXISTING RETAINING WALL
 - DENOTES PROPOSED CONTOURS (2' INTERVAL)
 - DENOTES SET IRON MONUMENT #44655
 - DENOTES IRON MONUMENT FOUND
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 - 1011.2 DENOTES EXISTING ELEVATION.
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 - DENOTES EXISTING TREE TO BE REMOVED
 - DENOTES EXISTING TREE TYPE AND SIZE AT DBH
- SM44
 SM=SILVER MAPLE
 SP=SPRUCE
 CW=COTTONWOOD



ZONING

EXISTING ZONING: LDR-1
 PROPOSED ZONING: LDR-1



PROPERTY DESCRIPTIONS

PARCEL A:

That part of the southeast 1/4 of the southeast 1/4 of Section 8, Township 29, Range 23, described as follows: (all bearings in this description being based on the South line of the southeast quarter as East & West line). Commencing at a point 33 feet North of the South line of said Section 8 and 499.63 feet West of the East line of said Section 8; thence North 0° 08' West 708.00 feet to the point of beginning; thence East 75.01 feet; thence South 0° 08' East, 15.00 feet; thence East 257.77 feet to the west line of east 165.00 feet of the southeast 1/4 of said Section 8; thence northerly and parallel to the East line of said section 8, 295.10 feet; thence North 66° 49' West, 27.64 feet to a point hereinafter referred to as "Point A"; thence continuing along last described bearing, 112.95 feet to a point hereinafter referred to as "Point B"; thence continuing along last described bearing, 100.54 feet; thence South 22° 46' West, 284.08 feet; thence South 00° 08' East, 40.78 feet to a point hereinafter referred to as "Point C"; thence continuing along last described bearing, 40.35 feet to a point hereinafter referred to as "Point D"; thence continuing along last described bearing, 31.95 feet to the point of beginning; said property lying southeasterly of a line drawn from said "Point A" to said "Point D", EXCEPT for that part taken for Minnesota State Highway 36.

PARCEL B:

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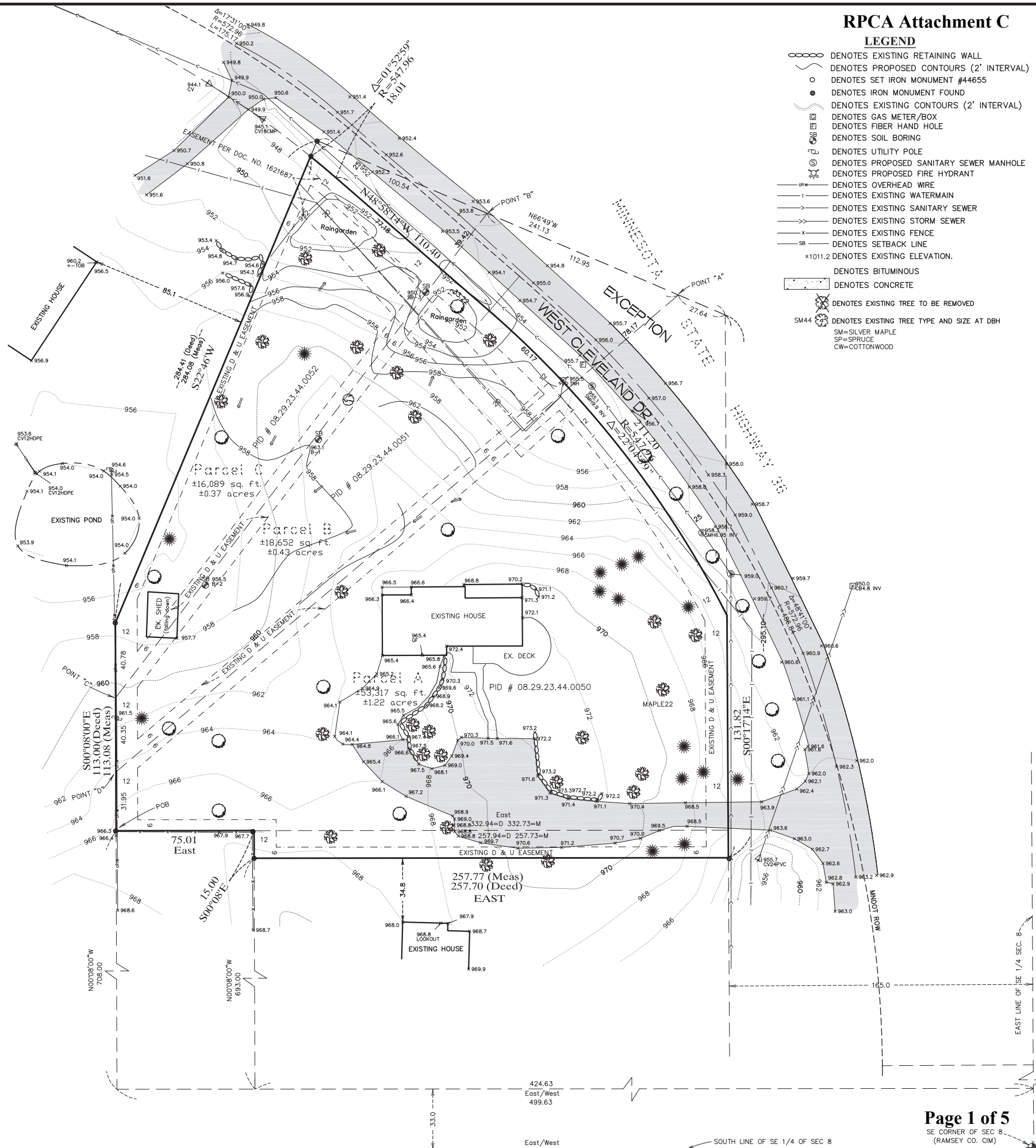
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GENERAL NOTES

- Fee ownership is vested in: JRD, LLC, a Minnesota limited liability company. Parcel ID Numbers: 08.29.23.44.0050, 08.29.23.44.0051, 08.29.23.44.0052. Property address is 2237 West Cleveland Drive, Roseville, Minnesota.
- Bearings shown hereon are based on assumed.
- Boundary area of the surveyed premises: ±88,058 sq. ft. (±2.02 acres).
- The City of Roseville has indicated that the surveyed premises shown on this survey is currently zoned LDR-1.
- The surveyed premises has access to West Cleveland Drive, a public street.
- Utilities shown hereon are observed and proposed (designed by others). Excavations were not made during the process of this survey to locate underground utilities and/or structures. The location of underground utilities and/or structures may vary from locations shown hereon and additional underground utilities and/or structures may be encountered. Contact Gopher State One Call Notification Center at (651) 454-0002 for verification of utility type and field location, prior to excavation.
- The field survey of this site was completed on February 22nd, 2017.
- Legal description is based upon document numbers: A04684331, A04684333, A04684329, Ramsey County, Minnesota.
- No wet lands were observed at the time of this survey, wetland areas are to be determined by others.
- Property is located in Zone X, no effective panel visible on FEMA website.
- See storm water report and plan prepared by Civil Methods.

I hereby certify that this plan, survey or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

JOSHUA P. SCHNEIDER Date: 6-1-18 Reg. No. 44655



424.63
 East/West
 499.63

East/West SOUTH LINE OF SE 1/4 OF SEC. 8

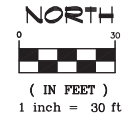
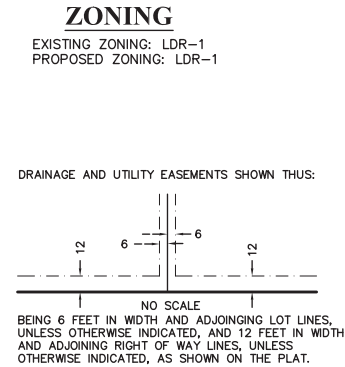
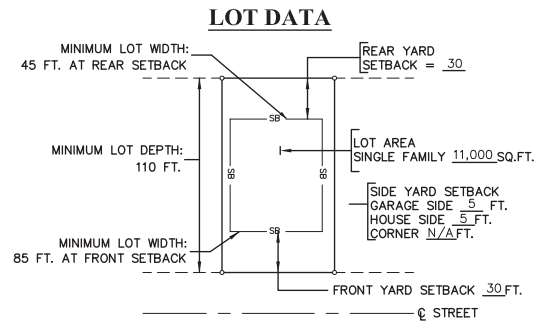
PRELIMINARY PLAT OF "MIDLAND CREST"

FOR: JRD, LLC

RPCA Attachment C

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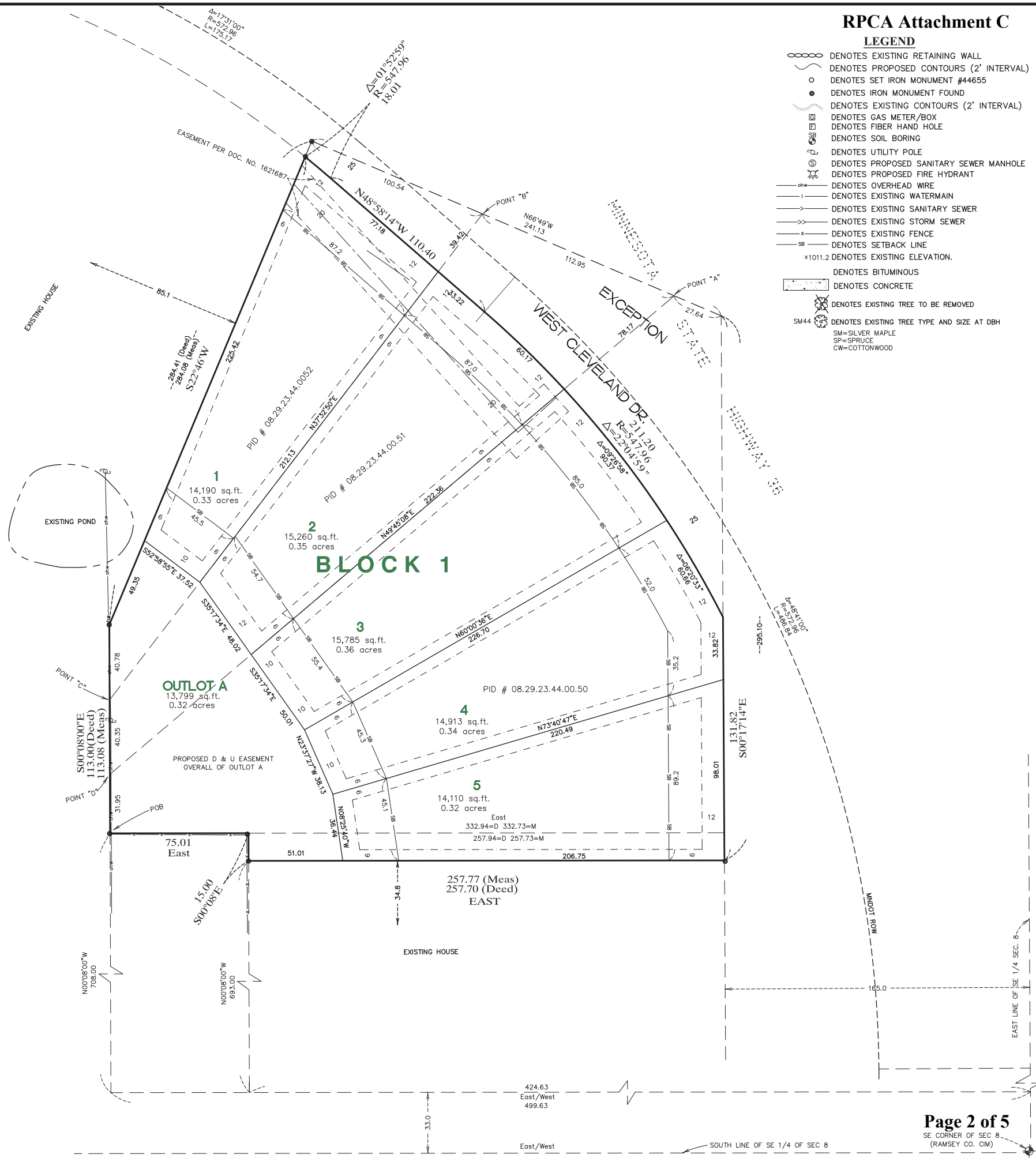
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- See storm water report and plan prepared by Civil Methods.

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JOSHUA P. SCHNEIDER Date: 6-1-18 Reg. No. 44655



TREE PRESERVATION PLAN

For: **JRD, LLC.**

Midland Crest
Roseville, Minnesota (Ramsey County)

Prepared By:
Midwest Natural Resources, Inc.
1032 West 7th St., Suite #150
St. Paul, MN 55102

Tree List

Heritage Trees to be Saved

Tree #	Size	Tree Name	Heritage Tree	Condition Rating	Proposed Status	Notes
4502	37"	Red Oak	Y	4	Save	
4503	36"	Red Oak	Y	4	Save	
4505	33"	Bur Oak	Y	4	Save	
4517	36"	White Oak	Y	4	Save	
4521	38"	Silver Maple	Y	4	Save	
4523	44"	Silver Maple	Y	4	Save	
4526	30"	Silver Maple	Y	4	Save	
4529	26"	White Oak	Y	4	Save	
4530	29"	White Oak	Y	4	Save	
4531	39"	Silver Maple	Y	4	Save	
4543	32"	Silver Maple	Y	4	Save	
B	30"	White Oak	Y	4	Save	tree is located on property line (was not tagged)

Total Caliper Inches of Heritage Trees to be Saved = 410" (12 total trees saved)

Heritage Trees to be Saved but not Factored in Calculations due to Location Off-Site

A	30"	White Oak	Y	4	Save	tree is located on neighbors property (was not tagged)
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Heritage Trees to be Removed

Tree #	Size	Tree Name	Heritage Tree	Condition Rating	Proposed Status	Notes
4507	27"	Silver Maple	Y	4	Remove	
4513	27"	White Oak	Y	4	Remove	

Total Caliper Inches of Heritage Trees to be Removed = 54" (2 total trees removed)

Heritage Trees that are Exempt due to poor condition/health or for drainage/ponding

Tree #	Size	Tree Name	Heritage Tree	Condition Rating	Proposed Status	Notes
4504	27"	Silver Maple	Y	4	Remove	
4506	28"	Cottonwood	N	1	Remove	Dead
4514	27"	Silver Maple	Y	2	Remove	30% crown dead, hazard
4519	30"/24"	Silver Maple	Y	2	Remove	major decay at base of both trunks, hazard
4522	60"	Silver Maple	Y	2	Remove	major decay 7' up from base, hazard
4548	30"	Silver Maple	Y	4	Remove	
4553	29"	White Oak	Y	2	Remove	major decay at base

Total Caliper Inches of Exempt Trees to be Removed = 255" (8 total trees removed)

Significant Trees to be Saved

Tree #	Size	Tree Name	Significant Tree	Condition Rating	Proposed Status	Notes
4509	22"	White Oak	Y	4	Save	
4515	19"	White Oak	Y	4	Save	
4516	26"	Silver Maple	Y	4	Save	
4518	14"	Norway Spruce	Y	4	Save	
4524	24"	White Oak	Y	4	Save	
4525	22"	White Oak	Y	4	Save	
4527	24"	White Oak	Y	4	Save	
4528	23"	White Oak	Y	4	Save	
4532	24"	White Oak	Y	4	Save	
4533	26"	White Oak	Y	4	Save	
4536	25"	White Oak	Y	4	Save	
4537	16"	Austrian Pine	Y	3	Save	40' tall, 2/3 no live branches
4538	20"	Norway Spruce	Y	4	Save	40' tall
4539	14"	Norway Spruce	Y	4	Save	35' tall
4540	20"	Norway Spruce	Y	4	Save	40' tall
4541	13"	Scotch Pine	Y	4	Save	35' tall
4542	13"	Scotch Pine	Y	4	Save	35' tall
4544	20"	Silver Maple	Y	4	Save	
4545	19"	Silver Maple	Y	4	Save	
4551	19"	Norway Spruce	Y	4	Save	40' tall

Total Caliper Inches of Significant Trees to be Saved = 403" (20 total trees saved)

Significant Trees to be Removed

Tree #	Size	Tree Name	Significant Tree	Condition Rating	Proposed Status	Notes
4508	25"	White Oak	Y	4	Remove	
4510	23"	Bur Oak	Y	4	Remove	
4511	12"	Norway Spruce	Y	4	Remove	
4512	13"	Honey Locust	Y	4	Remove	
4533	25"	White Oak	Y	4	Remove	
4534	19"	White Oak	Y	4	Remove	
4550	16"	Black Walnut	Y	4	Remove	
4554	22"	Silver Maple	Y	4	Remove	

Total Caliper Inches of Significant Trees to be Removed = 174" (8 total trees removed)

Significant Trees that are Exempt due to poor condition/health or for drainage/ponding

Tree #	Size	Tree Name	Significant Tree	Condition Rating	Proposed Status	Notes
4520	13"	Norway Spruce	Y	1	Remove	90% shade suppressed
4546	24"	Silver Maple	Y	4	Remove	
4547	24"	Silver Maple	Y	4	Remove	
4549	19"	Silver Maple	Y	3	Remove	20% storm damage to crown
4552	25"	White Oak	Y	1	Remove	70% of crown is dying
4556	15"	Austrian Pine	Y	2	Remove	35' tall, needle cast disease, in decline
4556	15"	Austrian Pine	Y	2	Remove	35' tall, needle cast disease, in decline
4557	14"	Austrian Pine	Y	2	Remove	35' tall, needle cast disease, in decline
4558	14"	Austrian Pine	Y	2	Remove	35' tall, sapsucker damage along trunk
4559	15"	Austrian Pine	Y	2	Remove	35' tall, sapsucker damage along trunk

Total Caliper Inches of Exempt Trees to be Removed = 178" (10 total trees removed)

Condition Rating

- 5-EXCELLENT: tree is without any visible symptoms
- 4-GOOD: no apparent problem with
- 3-FAIR: minor problems with
- 2-POOR: major problems with
- 1-VERY POOR: extreme problems

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a Sr. Forest Ecologist and a Certified Arborist.

SIGNED: Midwest Natural Resources, Inc.

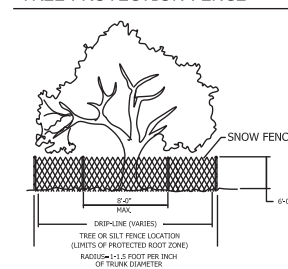

Ken Amdt, Sr. Forest Ecologist & Certified Arborist MN 4033-A



DATE: 5/31/18

TREE PRESERVATION DETAILS

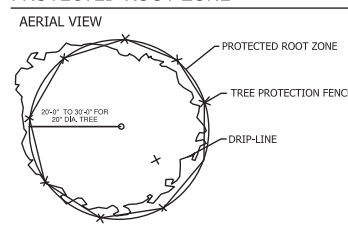
TREE PROTECTION FENCE



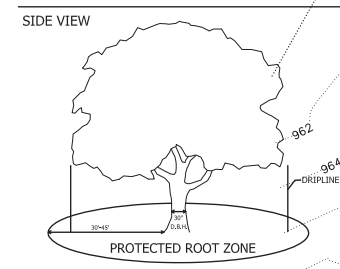
TREE PROTECTION ZONE

- NO GRADING, TRENCHING OR PLACEMENT OF EQUIPMENT IN THIS AREA
- WORK PERFORMED WITHIN THE TREE SHOULD BE DONE BY HAND AND UNDER THE SUPERVISION OF THE CONSULTING ARBORIST
- INSTALL TREE OR SILT FENCE PRIOR OR AT THE SAME TIME AS LAND CLEARING
- PROTECTION FENCE SHOULD REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETED

PROTECTED ROOT ZONE



PROTECTED ROOT ZONE






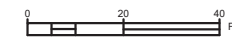
- THE AREA OF ROOTS EQUAL TO 1'-1.5' FOR EVERY 1" IN TRUNK DIAMETER (DBH)
- PROTECTED ROOT ZONE NOTES:
 - NO GRADING, TRENCHING OR PLACEMENT OF EQUIPMENT IN THIS AREA
 - 30% OF A TREE'S ROOT SYSTEM IS LOCATED WITHIN THE TOP 7" OF SOIL
 - WORK PERFORMED WITHIN THE TREE SHOULD BE DONE BY HAND AND UNDER THE SUPERVISION OF THE CONSULTING ARBORIST
 - NO FILL SHOULD BE PLACED AGAINST THE TRUNK, ON THE ROOT CRACK, OR WITHIN THE ERP LINE AREA OF ANY TREES THAT ARE TO BE SAVED.
 - CARE MUST BE TAKEN TO PREVENT CHANGE IN THE SOIL CHEMISTRY DUE TO CONCRETE WASHOUT AND LEAKAGE OR SPILLAGE OF TOXIC MATERIALS SUCH AS PAINTS OR OILS.
 - ALL CONSTRUCTION EQUIPMENT, VEHICLE TRAFFIC AND STORAGE AREAS MUST BE LOCATED OUTSIDE OF ANY TREE PROTECTION AREA.
 - PRUNING OF OAK TREES SHOULD NOT TAKE PLACE FROM APRIL 15 TO JULY 1.
 - IF WOUNDING OF OAK TREES OCCURS, A NON-TOXIC WOUND DRESSING MUST BE APPLIED IMMEDIATELY. EXCAVATIONS MUST HAVE A NON-TOXIC TREE WOUND DRESSING WITH THEM ON DEVELOPMENT SITES.

TREE PRESERVATION NOTES

- BEFORE LAND CLEARING BEGINS, CONTRACTOR SHOULD MEET WITH THE CONSULTANT ON SITE TO REVIEW ALL WORK PROCEDURES, ACCESS ROUTES, STORAGE AREAS, AND TREE PROTECTION MEASURES.
- TREE PROTECTION FENCE IS TO BE PLACED OUTSIDE OF THE DRIPLINE OF ALL SIGNIFICANT TREES TO BE SAVED. FENCE TO REMAIN UNTIL ALL SITE WORK IS COMPLETED. FENCE SHOULD NOT BE MOVED OR RELOCATED WITHOUT VERBAL OR WRITTEN CONSENTATION WITH THE CONSULTANT.
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- CARE MUST BE TAKEN TO PREVENT CHANGE IN THE SOIL CHEMISTRY DUE TO CONCRETE WASHOUT AND LEAKAGE OR SPILLAGE OF TOXIC MATERIALS SUCH AS PAINTS OR OILS.
- ALL CONSTRUCTION EQUIPMENT, VEHICLE TRAFFIC AND STORAGE AREAS MUST BE LOCATED OUTSIDE OF ANY TREE PROTECTION AREA.
- PRUNING OF OAK TREES SHOULD NOT TAKE PLACE FROM APRIL 15 TO JULY 1.
- IF WOUNDING OF OAK TREES OCCURS, A NON-TOXIC WOUND DRESSING MUST BE APPLIED IMMEDIATELY. EXCAVATIONS MUST HAVE A NON-TOXIC TREE WOUND DRESSING WITH THEM ON DEVELOPMENT SITES.



-  Existing Tree to be Saved
-  Existing Tree to be Removed
-  Proposed Tree Protection Fencing



LEGEND:

	EXISTING CONTOUR		PROPOSED STORM SEWER
	PROPOSED CONTOUR		PROPOSED UNDERDRAIN W/ CLEANOUT
	PROPOSED GRADE		PROPOSED WATERMAIN / SERVICE
	DETAIL ID / SHEET NO.		PROPOSED SANITARY / SERVICE
	REMOVAL		PROPOSED FORCEMAIN
	EXISTING PAVEMENT		PROPOSED PAVEMENT

GENERAL NOTES:

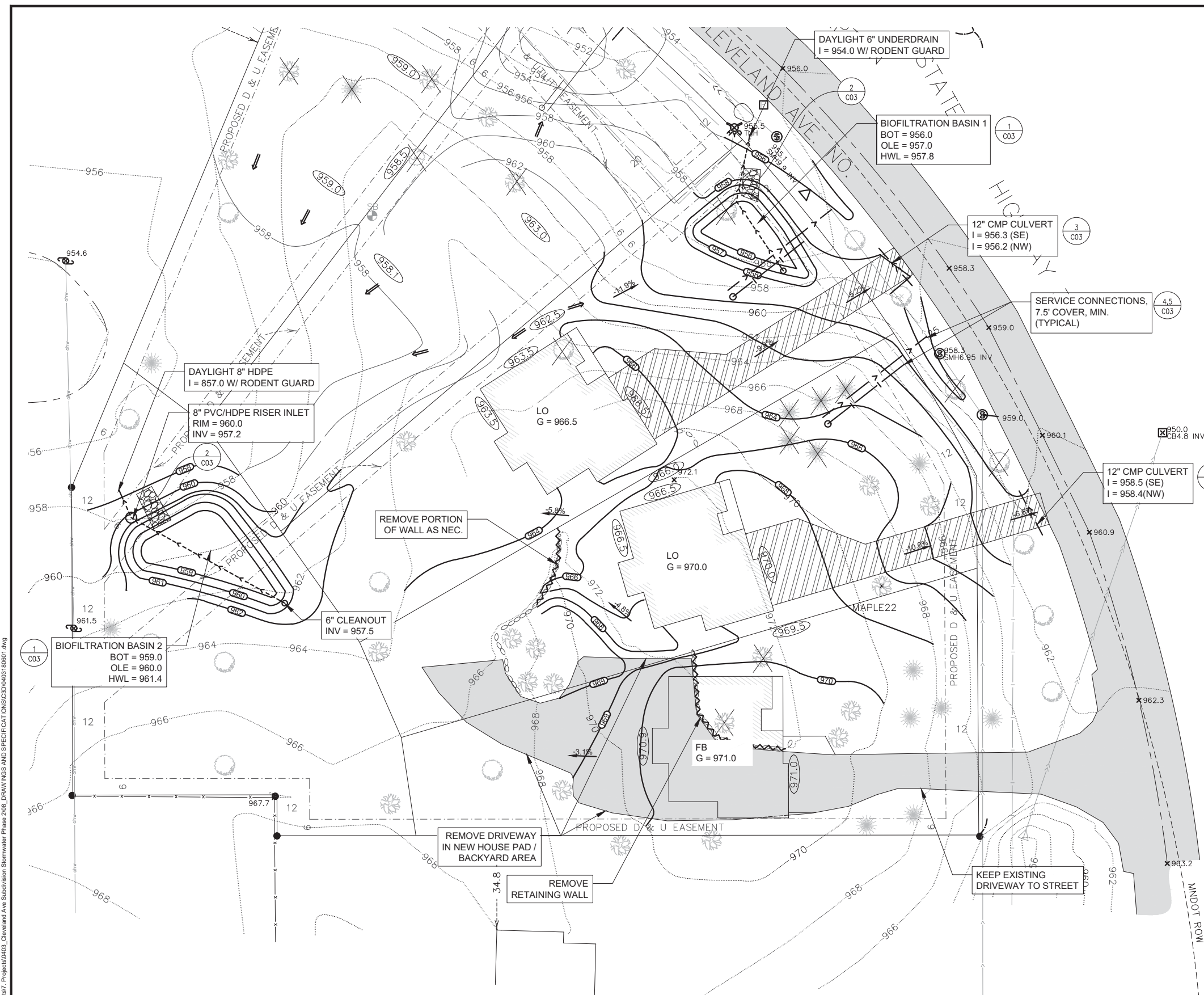
- The subsurface utility location information in this plan is utility quality level D. This utility quality level was determined according to the guidelines of CI/ASCE 38-02, titled "Standard Guidelines for the Collection and Depiction of Existing Subsurface Utility Data." Engineer does not guarantee the accuracy of utility locations or that all existing utilities are shown; Contractor is responsible for locating utilities prior to digging.
- See topographic survey (Acre Land Surveying) for additional tree information.
- Contractor shall coordinate utility connections and street disturbance with City; traffic control requirements as directed by City.
- Protect light poles and other existing utilities, signs, trees, etc. Relocation of any private utilities not directed on these plans shall be coordinated with the utility owner.
- Damaged items or property shall be repaired or replaced at Contractor's expense.
- Watermain pipe shall have a minimum of 7.5' cover; maintain 18" separation (min.) at crossings.
- Pipes shall be extended to within 5.0' of building; coordinate exact size, location and connection with building mechanical drawings / contractor.
- Install curb stop and box behind curb at each building unit.
- Sanitary 6" PVC shall not be laid flatter than 0.5%.
- Maximum spacing of sanitary cleanouts shall be 100'.
- Storm sewer to be dual-wall HDPE with water-tight connections (N12 or equal) or RCP.
- Castings sumped 0.05' below grade (reflected in noted rim elevation).
- Contractor to coordinate installation of other private utilities with utility companies as necessary.

SITE GRADING NOTES:

- Unless otherwise noted, all proposed grades shown are finished grades.
- Prepare building and pavement subgrade per geotechnical report.
- All construction activity shall adhere to applicable codes and regulations.
- At locations where new work connects to existing work, field verify existing elevations and grades prior to beginning the new work. Match existing grades at construction limits.
- Topsoil from grading areas shall be stripped, salvaged and stockpiled; subcut below final grade for placement of a minimum of 6" salvaged topsoil.
- The site earthwork is not necessarily balanced.
- Contractor to ensure swales are graded with positive slope for adequate surface drainage. drainage patterns to be maintained to northeast as indicated; no redirection of flow to other adjacent properties shall be permitted.
- Driveways to be bituminous asphalt on compacted Class 5 base material.
- Driveway grades shall not exceed 10% and provide landing of 6% near street.
- Maximum slopes shall be 3:1 (H:V) in graded areas.
- Low level (LL) or low floor elevation indicated on plan shall be the lowest opening or floor elevation permitted for home construction.

UTILITY NOTES:

- Notify City public works department prior to connection of water and sewer services.
- Water service shall have a minimum of 7.5' cover.
- Coordinate exact size, location and connection with building mechanical drawings / contractor.
- Install curb stop and box outside easement area.
- Sanitary 4" PVC shall not be laid flatter than 2.0%.
- Storm underdrain to be perforated HDPE with slits or TP/PVC with 3/8" holes and sock.
- Extend underdrain with solid-wall PVC SDR 26 or dual-wall HDPE to daylight.
- Contractor to coordinate installation of other private utilities with utility companies as necessary.



Print Date: 6/1/2018 12:20 PM
File Loc: C:\CIVIL\Methods - Inc\CM - Document\7 - Project\0403 - Cleveland Ave Subdivision Stormwater Phase 2\08_DRAWINGS AND SPECIFICATIONS\C03\0403180601.dwg

CIVIL METHODS, INC.
1551 Livingston Avenue, Suite 104
West St. Paul, MN 55118
o: 763.210.5713 | www.civilmethods.com

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DAVID M POGGI
DATE: 06-01-2018
LIC. NO.: 44573

DESIGNED: DMP
DRAWN: DMP
CHECKED: KEB

DATE / REVISION:

OWNER:

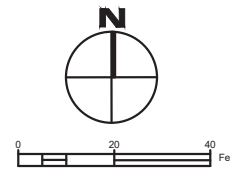
JRD, LLC

TITLE:

GRADING & UTILITY PLAN
MIDLAND CREST - PHASE 2
ROSEVILLE, MN

Page 4 of 5
SHEET NO. C01





LEGEND:

- STABILIZED CONSTRUCTION ENTRANCE
- ROCK RIPRAP, RANDOM CRUSHED
- SF SILT FENCE, MS
- SEDIMENT CONTROL LOG
- BIOFILTRATION BASIN

GENERAL NOTES:

1. The subsurface utility location information in this plan is utility quality level D. This utility quality level was determined according to the guidelines of CI/ASCE 38-02, titled "Standard Guidelines for the Collection and Depiction of Existing Subsurface Utility Data." Engineer does not guarantee the accuracy of utility locations or that all existing utilities are shown; Contractor is responsible for locating utilities prior to digging.
2. See topographic survey for additional tree information.
3. Protect light poles and other existing utilities, signs, trees, etc. Relocation of any private utilities not directed on these plans shall be coordinated with the utility owner. If drain tile is encountered, Engineer shall be notified immediately; reconnection or rerouting will be required.
4. Damaged items or property shall be repaired or replaced at Contractor's expense.

SEDIMENT CONTROL & TURF RESTORATION NOTES:

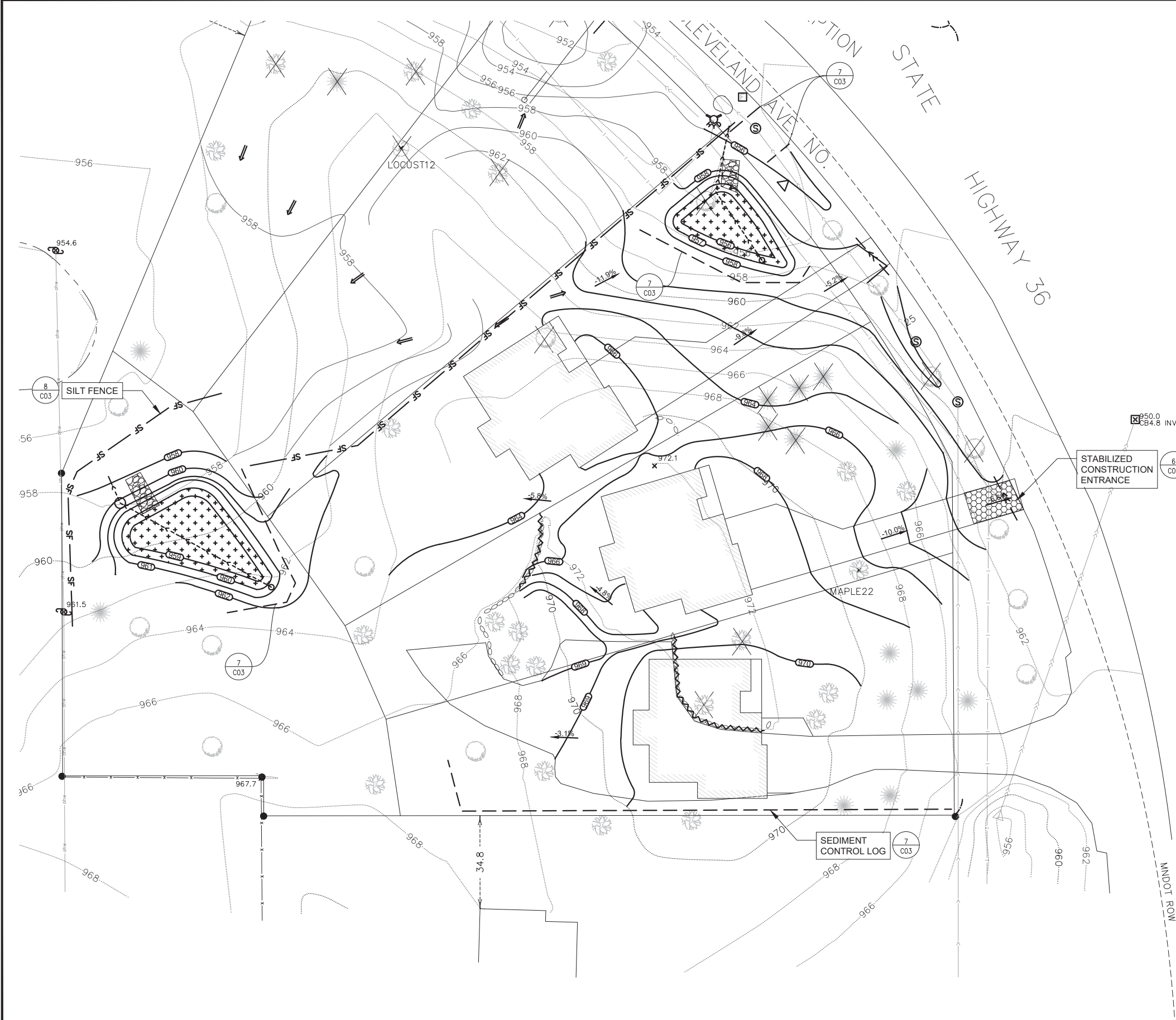
1. Perimeter sediment controls shall be installed as indicated prior to site disturbance, and shall be installed to allow for high-flow bypass or overflow to prevent failure during significant rainfall.
2. Contractor is responsible for keeping sediment from leaving the property, including vehicle tracking. Should sediment be tracked offsite onto adjacent street, Contractor shall sweep at the end of work day.
3. Install silt fence or sediment control log around any soil stockpiles that will be present for more than 7 days (if no perimeter controls in place to prevent sediment transport).
4. Install sediment control logs around upstream side of biofiltration basins immediately after construction and leave in place until construction has ended and site is stabilized with vegetation.
5. Slopes greater than 3:1 shall include erosion control blanket or hydraulic mulch matrix.
6. Devices shall be inspected weekly and after all rainfall events exceeding 1", and maintained as necessary to keep the intended functional condition.
7. Accumulated sediment shall be removed from sediment control devices when 1/3 of device height has been reached.
8. After rough grading is completed, and topsoil spread, areas shall be seeded and blanketed or hydromulched (or sodded) within 7 days. Areas not being actively worked must be covered with temporary seed within 14 days.
9. Perimeter sediment controls shall remain in place until vegetation is growing / established in all disturbed areas.

POLLUTION PREVENTION NOTES:

1. Concrete washout shall not be permitted onsite, unless done per MPCA standard.
2. Vehicle or equipment washing will not be performed on site.
3. All solid waste must be disposed of in accordance with all applicable federal and state regulations.
4. All hazardous materials must be properly stored to prevent spills or leaks; dispose per all applicable regulations, including MN Rule Ch. 7045.
5. Pesticides, herbicides, fertilizers, cleaners, paints, treatment chemicals, etc., must be stored under cover to prevent pollutant discharge (or similarly protected to prevent contact with stormwater).
6. DEWATERING, if necessary, shall be done in a manner so as to not discharge sediment-laden water or cause downstream nuisance conditions of standing water or erosion.
 - 6.1. Discharge dewatering towards street.
 - 6.2. Dewatering water shall be inspected for turbidity (cloudy with sediment); if present, filtration mechanism shall be installed at pump inlet and/or outlet to remove sediment. This may include pumping from a perforated barrel lined with a filter fabric, pumping to a sediment filter sack or temporary settling basin (lined dumpster, pit, etc.) with in-line Chitosan sock (or similar non-toxic flocculant) and discharge from the surface, or similar filtration mechanism approved by the City.
 - 6.3. Dewatering must be done to MPCA standards.

EROSION CONTROL SUPERVISOR:

1. PRIMARY: _____ Ph: _____



Print Date: 6/1/2018 12:20 PM
File Loc: C:\CM\Projects\2018\2018-06-01\2018-06-01.dwg

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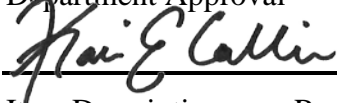
JRD, LLC

TITLE: **EROSION & SEDIMENT CONTROL**
MIDLAND CREST - PHASE 2
ROSEVILLE, MN

Page 5 of 5
SHEET NO: C02



Department Approval



Agenda Section

Public Hearings

Item Description: Request for approval of a Zoning Text Amendment to allow drive-through facilities in the Neighborhood Business District as conditional uses and approval of a drive-through facility as a Conditional Use (PF18-010)

1

APPLICATION INFORMATION

Applicant: Peak Investments LLC, d.b.a. Mudslingers Drive Thru Coffee

Location: 2154 Lexington Avenue

Property Owner: Roseville Crossings LLC

Open House Meeting: N/A

Application Submission: Received and considered complete June 28, 2018

City Action Deadline: August 27, 2018, per Minn. Stat. 462.358 subd. 3b

GENERAL SITE INFORMATION

Land Use Context

	Existing Land Use	Guiding	Zoning
Site	Drive-through coffee facility by Interim Use approval	NB	NB
North	Gas station	NB	NB
West	Lexington Park	POS	PR
East	Motor vehicle repair	NB	NB
South	Bank	NB	NB

Notable Natural Features: none

Planning File History: **2014** (PF14-005) Approval of the existing drive-through coffee facility as an Interim Use

1 **BACKGROUND**

2 Drive-through facilities are not permitted in the Neighborhood Business (NB) zoning district.
3 The existing drive-through coffee shop was approved as an interim use in 2014 with the
4 following conditions of approval:

- 5 a. The applicant shall close the existing site accesses closest to the intersection on both
6 abutting streets by installing curbs and gutters and repairing the area behind the curb,
7 consistent with the standard requirements of the Public Works Department as approved
8 by the City Engineer;
- 9 b. Parking shall be limited to employees only; and
- 10 c. The approval shall expire, and the drive-through facilities shall be removed, by 11:59
11 p.m. on October 31, 2018, or upon the earlier cessation of the business, unless the drive-
12 through facility is allowed to continue through renewed approval as an INTERIM USE or by
13 virtue of more permanent approval(s) (e.g., ZONING CHANGE, CONDITIONAL USE, etc.),
14 whichever comes first.

15 As the expiration of the Interim Use approval approaches, the applicant is seeking to amend the
16 NB zoning district to allow drive-through facilities as Conditional Uses and is applying for
17 approval of that Conditional Use so that they can operate the drive-through facility permanently.

18 When exercising the “legislative” authority on a zoning text change request, the City has broad
19 discretion in making land use decisions based on advancing the health, safety, and general
20 welfare of the community.

21 When exercising the “quasi-judicial” authority on a conditional use request, the role of the City
22 is to determine the facts associated with a particular request and apply those facts to the legal
23 standards contained in the ordinance and relevant state law. In general, if the facts indicate the
24 application meets the relevant legal standards and will not compromise the public health, safety,
25 and general welfare, then the applicant is likely entitled to the approval. The City is, however,
26 able to add conditions to an approval to ensure that potential impacts to parks, schools, roads,
27 storm sewers, and other public infrastructure on and around the subject property are adequately
28 addressed. Conditional uses may also be modified to promote the public health, safety, and
29 general welfare, and to provide for the orderly, economic, and safe development of land.

30 **ANALYSIS OF ZONING TEXT AMENDMENT**

31 Roseville’s Commercial and Mixed-Use Districts regulates drive-through facilities as accessory
32 uses because the principal use on a site might be a restaurant, bank, or retail establishment, and a
33 drive-through is ancillary (or accessory) to that principal use. Because the City has found it
34 useful to give greater scrutiny to the potential impacts of a drive-through facility wherever it
35 might be proposed, all drive-through facilities are allowed as conditional uses. And when this
36 regulatory scheme was implemented with the updated zoning code in 2010, drive-through
37 facilities were allowed only in the more intensive Regional Business (RB) and Community
38 Business (CB) districts. Drive-throughs were not permitted in the Neighborhood Business (NB)
39 district as a way to prevent such facilities from becoming nuisances on nearby residential uses.
40 Generally speaking, NB districts are small nodes surrounded closely by residential
41 neighborhoods, so there would not typically be much distance between a residence and a drive-
42 through situated on a NB property. Noise from drive-through interactions (i.e., ordering,

43 payment, and pick-up) and exhaust from running queued vehicles would be expected to have the
 44 greatest potential to become nuisances that can be differentiated from other permitted
 45 commercial uses, and these potential impacts tend to decrease quickly as distance from them
 46 increases.

47 The existing Mudslingers drive-through is on a NB property, but the NB node is considerably
 48 larger than most, and the drive-through interactions occur in a location that is more than 200 feet
 49 from the nearest residentially zoned property or property in residential use. Planning Division
 50 staff is unaware of any complaints about the Mudslingers facility since it opened. Staff is also
 51 unaware of any concerns with the adjacent drive-through at TruStone Federal Credit Union;
 52 having been legally established under a previous zoning district, this is a legal, nonconforming
 53 drive-through that is located 100 feet from the nearest residential property. Some other NB nodes
 54 around Roseville appear to be large enough to accommodate a drive-through facility that is at
 55 least 200 feet from residential districts, but generally not by simply modifying an existing
 56 building.

57 In order to implement a zoning text amendment that would allow drive-through facilities as
 58 conditional uses in the NB district, the following changes would be required.

59 Table 1005-1

60 The table of land uses in the Commercial and Mixed-Use Districts, in City Code §1005.03,
 61 would need the following amendment:

Table 1005-1	NB	CB	RB-1	RB-2	Standards
Accessory Uses, Buildings and Structures					
Drive-through facilities	NP C	C	C	C	Y

62 Conditional Use Standards

63 Some of the uses that are conditionally allowed have standard requirements or criteria that must
 64 be met (in addition to other conditions that may be applied to a specific conditional use approval)
 65 wherever that use might be implemented. These standard requirements anticipate the usual
 66 concerns about a particular use and ensure that related impacts are mitigated as a matter of
 67 course. Other conditional uses have no such standard criteria, and are regulated only by the
 68 particular conditions of approval deemed to be appropriate for a specific application. Drive-
 69 through facilities have a set of standard requirements, and if a minimum-distance requirement as
 70 discussed above is appropriate, then City Code §1009.02 should be amended to add the standard
 71 requirements as illustrated below.

72 **1009.02 Conditional Uses**

73 D. Specific Standards and Criteria

74 12. Drive-through Facilities:

- 75 a. Drive-through lanes and service windows shall be located to the side or rear of
 76 buildings and shall not be located between the principal structure and a public
 77 street, except when the parcel and/or structure lies adjacent to more than one
 78 public street and the placement is approved by the Community Development
 79 Department.
- 80 b. Points of vehicular ingress and egress shall be located at least 60 feet from the
 81 street right-of-way lines of the nearest intersection.

- 82 c. The applicant shall submit a circulation plan that demonstrates that the use will not
83 interfere with or reduce the safety of pedestrian and bicyclist movements. Site
84 design shall accommodate a logical and safe vehicle and pedestrian circulation
85 pattern. Adequate queuing lane space shall be provided without interfering with on
86 site parking/circulation.
- 87 d. Speaker box sounds from the drive-through lane shall not be loud enough to
88 constitute a nuisance on an abutting residentially zoned property or property in
89 residential use. **Notwithstanding this requirement, such speaker boxes shall not be
90 located less than 100 feet from an existing residentially zoned property or property
91 in residential use.**
- 92 e. Drive-through canopies and other structures, where present, shall be constructed
93 from the same materials as the primary building and with a similar level of
94 architectural quality and detailing.
- 95 f. A 10-foot buffer area with screen planting and/or an opaque wall or fence between
96 6 and 8 feet in height shall be required between the drive-through lane and any
97 property line adjoining a public street or residentially zoned property or property in
98 residential use and approved by the Community Development Department.

99 ANALYSIS OF CONDITIONAL USE

100 Roseville's Development Review Committee (DRC) met on July 12 and 19, 2018, to review the
101 proposal to permanently establish the existing drive-through use. A detailed site plan is included
102 with this RPCA as part of Attachment C, although it should be noted that the employee parking
103 spaces were not ultimately located as illustrated on this site plan. The DRC did not have any
104 issues with the request to permanently approve the existing drive-through facility beyond the
105 Planning Division staff's review of the pertinent general and specific criteria provided in the City
106 Code.

107 General Standards and Criteria: When approving a proposed conditional use, Section 1009.02 of
108 the City Code requires that the Planning Commission and City Council make the following
109 findings.

- 110 1. *The proposed use is not in conflict with the Comprehensive Plan.* While a drive-through
111 facility doesn't appreciably advance the goals of the Comprehensive Plan aside from
112 facilitating continued investment in a property, Planning Division believes that it does not
113 conflict with the Comprehensive Plan because such facilities are routinely incorporated into
114 common commercial uses like banks, pharmacies, and coffee shops.
- 115 2. *The proposed use is not in conflict with any Regulating Maps or other adopted plans.* The
116 proposed use is not in conflict with such plans because none apply to the property.
- 117 3. *The proposed use is not in conflict with any City Code requirements.* Pursuant to the
118 proposed zoning text amendment discussed earlier in this report, Planning Division staff
119 believes that the proposed drive-through facility would meet all applicable City Code
120 requirements. Moreover, a conditional use approval can be rescinded if the approved use fails
121 to comply with all applicable City Code requirements or any conditions of the approval.
- 122 4. *The proposed use will not create an excessive burden on parks, streets, and other public
123 facilities.* The existing drive-through facility has not been observed to create an excessive
124 burden on parks, streets, and other public facilities.

125 5. *The proposed use will not be injurious to the surrounding neighborhood, will not negatively*
126 *impact traffic or property values, and will not otherwise harm the public health, safety, and*
127 *general welfare.* The existing drive-through facility has not demonstrated itself to be
128 injurious to surrounding neighborhoods and has not appeared to negatively impact traffic,
129 property values, and will not otherwise harm public health, safety, and general welfare.

130 Specific Standards and Criteria: When approving a proposed drive-through facility as a
131 conditional use, Section 1009.02.D.12 of the City Code applies the following additional, specific
132 standards and criteria.

- 133 a. *Drive-through lanes and service windows shall be located to the side or rear of buildings*
134 *and shall not be located between the principal structure and a public street, except when the*
135 *parcel and/or structure lies adjacent to more than one public street and the placement is*
136 *approved by the Community Development Department.* The facility has two drive-through
137 lanes and service windows, and one of each faces a public street (i.e., Lexington Avenue).
138 The site abuts Lexington Avenue and County Road B, however, and the Community
139 Development Department, the Planning Commission, and the City Council all supported the
140 placement of this window and drive lane when the facility was approved as an interim use.
- 141 b. *Points of vehicular ingress and egress shall be located at least 60 feet from the street right-*
142 *of-way lines of the nearest intersection.* Points of vehicular ingress and egress are located at
143 least 61 feet from the Lexington Avenue and County Road B rights-of-way lines.
- 144 c. *The applicant shall submit a circulation plan that demonstrates that the use will not interfere*
145 *with or reduce the safety of pedestrian and bicyclist movements. Site design shall*
146 *accommodate a logical and safe vehicle and pedestrian circulation pattern. Adequate*
147 *queuing lane space shall be provided without interfering with on site parking/circulation.*
148 Pursuant to the 2014 approval of the existing drive-through facility as an interim use, the
149 approved site circulation plan has been implemented, and vehicle movements to, from, and
150 within the site has not unduly interfered with or compromised the safety of pedestrians or
151 cyclists. Queuing space has been adequate and has not interfered with on-site parking or
152 circulation.
- 153 d. *Speaker box sounds from the drive-through lane shall not be loud enough to constitute a*
154 *nuisance on an abutting residentially zoned property or property in residential use.*
155 *Notwithstanding this requirement, such speaker boxes shall not be located less than 100 feet*
156 *from an existing residentially zoned property or property in residential use.* The existing
157 drive-through facility does not have speaker boxes. Should speaker boxes be added to the
158 drive-through lanes in the future, the potential speaker box locations are more than 200 feet
159 from the nearest residentially zoned property or property in residential use.
- 160 e. *Drive-through canopies and other structures, where present, shall be constructed from the*
161 *same materials as the primary building and with a similar level of architectural quality and*
162 *detailing.* The existing drive-through facility is integral to the primary building.
- 163 f. *A 10-foot buffer area with screen planting and/or an opaque wall or fence between 6 and 8*
164 *feet in height shall be required between the drive-through lane and any property line*
165 *adjoining a public street or residentially zoned property or property in residential use and*
166 *approved by the Community Development Department.* Despite the existing design of the
167 drive-through, a double-sided order system with lanes entering and exiting from both County
168 Road B and Lexington Avenue, none of the lanes are located directly adjacent to a public
169 street; therefore, the Planning Division has determined that this requirement does not apply in
170 this case.

171 **PUBLIC COMMENT**

172 At the time this RPCA was prepared, Planning Division staff has received one email, which is in
173 support of the application; this email is included with this report as Attachment D.

174 **RECOMMENDED ACTIONS**

175 **1) By motion, recommend approval of the proposed zoning text amendment to allow**
176 **drive-through facilities as conditional uses in the Neighborhood Business zoning**
177 **district,** based on the content of this RPCA, public input, and Planning Commission
178 deliberation.

179 **2) By motion, recommend approval of the proposed drive-through facility at 2154**
180 **Lexington Avenue,** based on the content of this RPCA, public input, and Planning
181 Commission deliberation

182 **ALTERNATIVE ACTIONS**

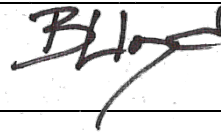
183 **A) Pass a motion to table the item(s) for future action.** An action to table must be based
184 on the need for additional information or further analysis to make a recommendation on
185 the request. Tabling beyond August 27, 2018, may require extension of the 60-day action
186 deadline established in Minn. Stat. 15.99 to avoid statutory approval.

187 **B) Pass a motion to recommend denial of the request(s).** A recommendation of denial
188 should be supported by specific findings of fact based on the Planning Commission's
189 review of the application, applicable zoning regulations, and the public record.

Attachments: A: Area map
B: Aerial photo

C: Applicant narrative and site plan
D: Public comment

Prepared by: Senior Planner Bryan Lloyd
651-792-7073
bryan.lloyd@cityofroseville.com



Attachment A for Planning File 18-010



Lexington
Park

2154



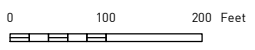
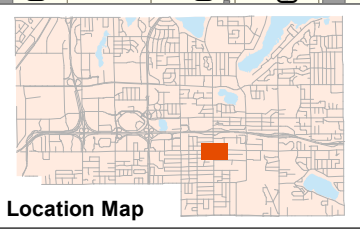
Prepared by:
Community Development Department
Printed: July 18, 2018



Site Location

Data Sources
 * Ramsey County GIS Base Map (7/6/2018)
 For further information regarding the contents of this map contact:
 City of Roseville, Community Development Department,
 2660 Civic Center Drive, Roseville MN

Disclaimer
 This map is neither a legally recorded map nor a survey and is not intended to be used as one. This map is a compilation of records, information and data located in various city, county, state and federal offices and other sources regarding the area shown, and is to be used for reference purposes only. The City does not warrant that the Geographic Information System (GIS) Data used to prepare this map are error free, and the City does not represent that the GIS Data can be used for navigational, tracking or any other purpose requiring exacting measurement of distance or direction or precision in the depiction of geographic features. If errors or discrepancies are found please contact 651-792-7085. The preceding disclaimer is provided pursuant to Minnesota Statutes §466.03, Subd. 21 (2000), and the user of this map acknowledges that the City shall not be liable for any damages, and expressly waives all claims, and agrees to defend, indemnify, and hold harmless the City from any and all claims brought by User, its employees or agents, or third parties which arise out of the user's access or use of data provided.



Attachment B for Planning File 18-010



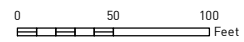
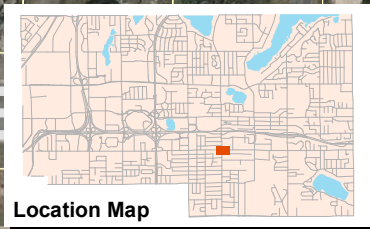
Data Sources

- * Ramsey County GIS Base Map (7/6/2018)
- * Aerial Data: Sanborn (4/2017)

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NARRATIVE FOR ITEM 5 OF ZONING TEXT AMENDMENT APPLICATION

The Applicant presently has an Interim Use Permit for their drive-through coffee business. On information and belief, a drive-through business is not presently permitted in a Neighborhood Business district. With this Zoning Text Amendment and a Conditional Use Permit, the drive-through business will be permitted at the present location.

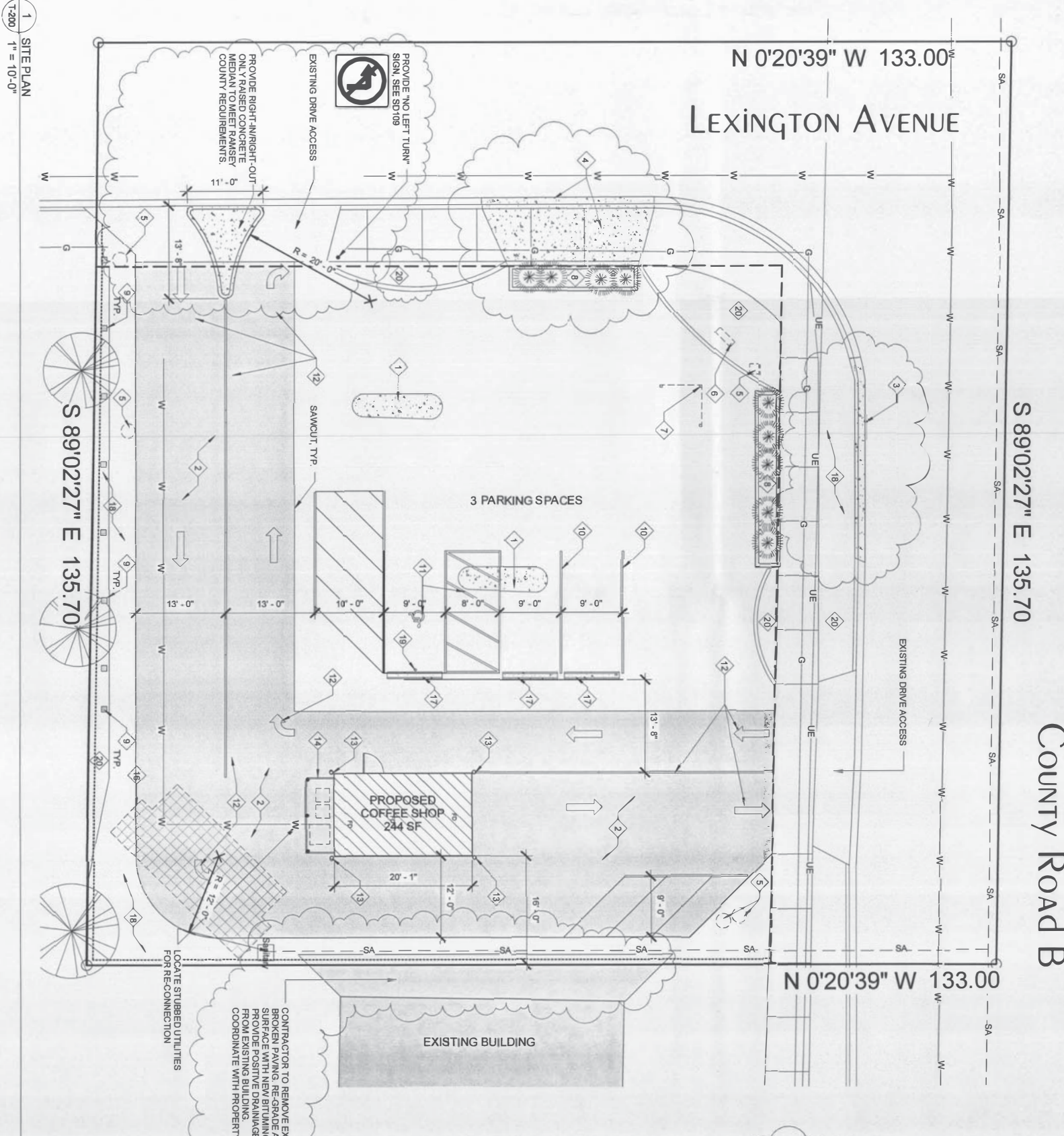
S 89°02'27" E 135.70

COUNTY ROAD B

N 0°20'39" W 133.00

LEXINGTON AVENUE

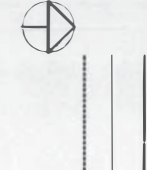
N 0°20'39" W 133.00



- SITE PLAN K**
1. PATCH / REPAIR CONCRETE WHEN AREA PROVIDED
 2. REMOVE EXISTING GUTTER. PROVIDE WORK TO BE CONFORMANT WITH
 3. REMOVE EXISTING GUTTER AND NEW SPRINGS OF 2015.
 4. REMOVE ABANDONED TOP SOIL & SOD. REMOVE ABANDONED TOP SOIL & SOD. REMOVE EXISTING TOP SOIL & SOD. REMOVE EXISTING TOP SOIL & SOD.
 5. OWNER TO PROVIDE FORMER ROAD A
 6. REMOVE ALL EXISTING CLEAN EDGE FOR EAST FURNITURE
 7. REMOVE EXISTING PARALLEL STRIPES
 8. HANDICAP PARKING
 9. PAINTED ARROW
 10. GROUT FILLED P
 11. SECURITY
 12. NOT USED.
 13. LOCATION OF PREVIOUSLY EXISTING UTILITY THAT ALL PREVIOUS CONCRETE OR
 14. PRECAST CONCRETE OR
 15. ACCESSIBLE PAR
 16. EXISTING GRASS

- SITE PLAN**
1. LOCATIONS OF GUTTERS, EQLLARDS & IN THE FIELD PRIOR TO
 2. SEWER SERVICE
 3. MUST BE MADE TO THE EXISTING FOR AS-BUILT
 4. PROVIDE "NO LEFT TURN" SIGN TO MEET RAMSEY COUNTY REQUIREMENTS.
 5. PROVIDE "NO LEFT TURN" SIGN, SEE SD109
 6. SAWCUT, TYP.
 7. SAWCUT, TYP.
 8. PROVIDE RIGHT-IN/RIGHT-OUT ONLY RAISED CONCRETE MEDIAN TO MEET RAMSEY COUNTY REQUIREMENTS.
 9. LOCATE STUBBED UTILITIES FOR RE-CONNECTION
 10. CONTRACTOR TO REMOVE EXISTING BROKEN PAVING. RE-GRADE AND RE-SURFACE WITH NEW BITUMINOUS TO PROVIDE POSITIVE DRAINAGE AWAY FROM EXISTING BUILDING. COORDINATE WITH PROPERTY OWNER.

1 SITE PLAN
T-2000 1" = 10'-0"



From: Hannah Lawson [REDACTED]
Sent: Tuesday, July 24, 2018 9:38 PM
To: RV Planning
Subject: Mudslingers drive through approval

I will not be able to attend the public hearing to address the planning commission but I just wanted to say I live a block away on Burke and mudslingers is amazing! They have not been disruptive, and have provided an awesome amenity to the area! Their permit should be approved to continue and grow their business!

Thanks,

Hannah

[Sent from Yahoo Mail for iPhone](#)



REQUEST FOR PLANNING COMMISSION ACTION

Agenda Date: 08/01/18

Agenda Item: 7d

Prepared By

Agenda Section
Public Hearings

Department Approval

Item Description: Consider a Request by Roseville Centre Lodging, LLC for a Final Planned Unit Development to support a hotel at 3015 Centre Pointe Drive (PF18-006)

1 APPLICATION INFORMATION

2 Applicant:	Roseville Centre Lodging, LLC
3 Location:	3015 Centre Pointe Drive
4 Property Owner:	Center Point Solutions, LLC
5 Application Submission:	July 18, 2018
6 City Action Deadline:	September 16, 2018
7 Planning File History:	PF2880 and PUD #1117, PF3338, PF17-010

8 Level of Discretion in Decision Making:
9 Actions taken on a Planned Unit Development Amendment request are legislative; the City has
10 broad discretion in making land use decisions based on advancing the health, safety, and general
11 welfare of the community.

12 BACKGROUND

13 On June 6, 2018, the Roseville Planning Commission reviewed the Concept PUD Amendment
14 proposal and recommended to the City Council approval in the change in use of the subject
15 property from a 21,240 office building with underground parking to a four-story hotel with
16 surface parking (Attachment A).

17 On July 11, the City Council supported the Planning Commission recommendation, approving
18 the Concept PUD for the 3015 Center Pointe Drive property (Attachment B).

19 The proposal by Roseville Centre Lodging, LLC in cooperation with Centre Point Solutions,
20 LLC is virtually the same as the Concept PUD in that the goal is to meet the standards contained
21 in PUD #1177. Attachment C includes the Final Development hotel site plan proposal, floor
22 plan, and hotel exterior photo. This stage of the proposal is to ensure compliance with all
23 necessary/required standards contained in the existing PUD. The only change being sought is the
24 change in use for the subject property.

25 PLANNING DIVISION RECOMMENDATION

26 Given the above analysis, the Planning Division recommends approval of a PUD amendment
27 that would modify the permitted use on the subject property from a 21,240 office building with
28 underground parking to a four-story hotel with surface parking. Staff's analysis concludes that it
29 achieves compliance with the Standards outlined in PUD #1177.

30 **SUGGESTED PLANNING COMMISSION ACTION**

31 By motion, recommend approval of a Final Planned Unit Development for 3015 Centre Pointe
32 Drive to modify the permitted use on the subject property from a 21,240 office building with
33 underground parking to a four-story hotel with surface parking, which achieves compliance with
34 the Standards outlined in PUD #1177

35 **ALTERNATIVE ACTIONS**

36 **a.** Pass a motion to table the item for future action. An action to table must be tied to the need
37 for clarity, analysis and/or information necessary to make a recommendation on the request.

38 **b.** Pass a motion recommending denial of the proposal. A motion to deny must include findings
39 of fact germane to the request.

Report prepared by: Thomas Paschke, City Planner 651-792-7074 | thomas.paschke@cityofroseville.com

Attachments: A. PC minutes 06/06/18 B. CC minutes 07/09/18
 C. Applicant proposal

Extract of the June 6, 2018 Roseville Planning Commission Meeting Minutes

a. Consider A Request by Roseville Centre Lodging, LLC to Amend Planned Unit Development 1177 (Centre Pointe Business Park) to Include a Fourth Hotel at 3015 Centre Pointe Drive (PF18-006)

Chair Murphy opened the public hearing for PF17-019 at approximately 6:55 p.m. and reported on the purpose and process of a public hearing.

City Planner Paschke summarized the request as detailed in the staff report dated June 6, 2018. He reported that the applicant seeks an amendment to Planned Unit Development (PUD) Agreement 1177 to change the allowable use on property at 3015 Center Pointe Drive from a 21,240 square foot office building with underground parking to a four-story hotel with surface parking. The general development plan is to construct a four-story hotel towards the front of the lot near Centre Pointe Drive and meeting all of the stipulated standards within the PUD agreement.

Vice Chair Bull asked about limits on the specifications on the property, such as maximum number of hotel rooms or height restrictions.

City Planner Paschke noted there are height restrictions within the Planned Unit Development, but there is nothing that limits density of the hotel. There are some limitations overall for the business park as it relates to impervious cover. The overall of the green space and ponds are to be somewhere in the neighborhood of 25 percent.

Vice Chair Bull asked whether the City gets a significant portion of the taxes as it relates to lodging tax.

City Planner Paschke responded he is not sure about the dividing up of lodging taxes.

He noted this site has been difficult to develop a use that is acceptable to the City. Staff thinks this fits the spirit and intent of the PUD.

Member Groff asked about storm water management

City Planner Paschke responded it will be an underground storage system.

Member Sparby asked about the PUD's table of allowable uses. The existing table controls the site right now.

City Planner Paschke concurred that is correct.

Member Sparby asked whether the table has to be amended again to put the hotel on the property.

City Planner Paschke responded that is not necessary. The uses are already supported by the PUD. However, this specific lot was approved for an office park building with underground parking. This site has a specific use identified, so that is the only thing that can be built on this property unless the PUD is amended.

Member Sparby suggested removing the amendment so it reverts to the existing table of allowable uses.

City Planner Paschke noted that is a much more complicated process.

Chair Murphy noted the Commission has spent many hours over the past few years on this particular PUD.

Member Kimble noted there was an issue last time around the particular use. This is somewhat different, as there are similar uses within the park already.

Member Gitzen asked if all the specific uses for all the lots are designated in the PUD.

City Planner Paschke responded there is overall shape that identifies originally the thought-out or planned type of uses on different lots. Most of them were office of some sort.

Tom Noble, President of West Real Estate, introduced himself to the Commission.

Member Daire asked what type of hotel this is.

Mr. Noble responded this is a new brand that is developed and sponsored by Intercontinental Hotel Group, the owner of the Holiday brands. This hotel is designed as a middle-market hotel opportunity. It will not have the surplus amenities as would be found in a normal Holiday Inn pool. It does focus on three particular niche features that are most important. First, the bed will be the top-quality bed that can be found anywhere. Second, also important is this shower. It is a full, walk-in shower with a glass door. The third item is technology: larger TV's, better work spaces, better ports. What is not in this brand is surplus amenities. There will not be an enclosed closet. The amenities are clean, bright colors, and efficient. The rates will be about \$10 lower than the rate for a Holiday Inn Express. This brand is meant to provide value-based, middle-market amenities.

Member Daire noted that someone at the open house commented that this hotel will depress the market for the other hotels in the immediate vicinity and in the area.

Mr. Noble responded that he respects that comment, as no one sees value in oversupplying any market. However, the Roseville/North Minneapolis market is a healthy market and it has done quite well over the past 4-5 years. Taking just the Roseville inventory, it currently has about 1,375 rooms. The third-party research data demonstrates the yield performance in Roseville has been increasing 3.3% on average. Extending that into the room supply, this hotel should open in 2020 and will begin capturing part of that market growth. He believes it is a reasonable comment for a neighboring hotel sales director to make, but this market can support 86 additional rooms. The Roseville room inventory is getting a bit dated. It is important to keep the hotel supply invigorated and fresh.

Public Comment

Kirby Stahl, 1973 Lexington Ave N, commented on the application. On page 2, the report discusses that this property is difficult to market based upon its position within the PUD. He is also an employee of the University of Northwestern here in Roseville. He thanked the PC for coming alongside the Northwestern and other businesses to change the PUD to make it better going forward. He commented that while the PC has recommended amendments for the Council, the Council has either denied or decided not to preside over these recommended proposals. He is concerned about the state of this PUD as it relates to Roseville businesses. He wondered if the PUD has exceeded its usefulness and if the PC would be better off recommending to the Council its demise so it can revert back to regular zoning in the City.

Chair Murphy noted that the Council-PC joint meeting is in July, and he will ask that this be an area of discussion with the Council.

Mr. Stahl clarified that other businesses like this hotel have brought this matter to the PC, and the PC has brought it to the Council with varying degrees of success.

Member Kimble clarified that her previous reference point was to the storage facility proposal on this same site.

Chair Murphy closed the public hearing at 7:22 p.m., as no one else appeared to speak for or against.

MOTION

Vice Chair Bull moved, seconded by Member Groff, to the City Council to recommend approval of a PUD amendment that would modify the permitted use on the subject property from a 21,240-square foot office building with underground parking to a four-story hotel with surface parking

Commission Deliberation

Chair Murphy commented it is not the business of the Planning Commission to limit competition in another area. If a permitted use in a PUD is going in, that is worthy of support. He reminded the PC this is a change to a hotel, not to any particular brand.

Vice Chair Bull commented he struggled that this PUD has been guided for an employment district. There has been some success but not full success with that. It is up to the applicant to study the market.

Member Sparby stated the PC is in a process to put the PUD to its best and highest use. This move is in the right direction and trying to put the property to use.

City Planner Paschke recalled this item came up on a City Council docket. The Council discussed modifications to the PUD and the PC did recommend changes to the table which would, in that sense, create a new table of uses. However, that has been put on hold as the City is now in litigation with Northwestern.

Ayes: 7

Nays: 0

Motion carried.

Extract of the Draft July 9, 2018 City Council Meeting Minutes

a. Consider a Request by Roseville Centre Lodging LLC to Amend Planned Unit Development #1177 (Centre Pointe Business Park) to Include a Fourth Hotel at 3015 Centre Pointe Drive (PF18-006)

City Planner Paschke briefly reviewed this request, recommending approval as detailed in the RCA dated July 9, 2018.

Councilmember Etten asked about the green space in this PUD and whether it will be preserved.

City Planner Paschke responded this has been discussed generally. The PUD is predicated upon incorporating the green space within those ponds. Overall, every site has to average about 25% green space.

Councilmember Etten stated he wants to ensure the applicant understands this is not a normal space as far as putting asphalt over the whole thing.

Councilmember McGehee asked about the tax impact as well as the difference in types of job between the hotel and the previously proposed storage facility.

City Planner Paschke responded he is not sure about the tax impact.

Councilmember McGehee stated she is not clear on the quality and quantity of jobs in a hotel. She was not impressed with their sketch to fill in a pond and not to do underground parking.

Mayor Roe asked if the Council has any question for the applicants.

Tom Noble, Chief Manager of Roseville Centre Lodging, 1660 Highway 100 S, St. Louis Park, introduced the landowner Rick Kuela.

Councilmember Etten asked whether Mr. Noble is aware of the requirements for green space.

Mr. Noble responded affirmatively. Since this project began a year ago, everything that has been discussed tonight has been a consideration. The PUD requires a minimum of 25% of green space. Currently the applicant is at 23.5% of green space, and the intent is to make a fully compliant application.

Councilmember Etten asked about an above-ground pond.

Mr. Noble recalled the numerous meetings that have been held with the Rice Creek Watershed District in order to understand the history of the area as well as meeting the needs of the District. Years ago, there was a design that envisioned some stormwater retention being built into this area. Based on actual need at the time of construction, that pond never was built as a stormwater retention pond. That is his understanding based upon meetings with the Rice Creek Watershed District. It was intended in concept to be a pond that holds water 100% of the time. In fact, it was not built to that specification. It is not a functioning pond from a water management perspective. So, something will have to be built to handle stormwater management. The challenge is the uses of this area and trying to manage what is a very small site of 1.4 acres. The site cannot be developed with traditional stormwater retention and engineering built in.

Councilmember McGehee asked about underground parking.

Mr. Noble responded that underground parking would not make financial sense. Regarding jobs, this will be an 86-unit hotel. The creation of 12 full-time jobs is anticipated. He noted that the jobs will be housekeeping, engineering, desk service jobs, and management. Additionally, there will be approximately 12-14 part-time jobs to backfill peak times. The front desk worker is about \$14/hour plus benefits and 401(K). Housekeeping is \$13/hour before benefits. Twenty hours a week is industry standard to cut off benefits to the part-time staff, though the goal is not to try to deny benefits based on hours. He has been in this business a long time; it does not help the service side or quality assurance side to create a cost-effective employee over a quality employee.

Councilmember Willmus asked about the room rental rate.

Mr. Noble responded he is waiting for the Rev-PAR study. The goal is to have a Rev-PAR in the upper \$80 range. The goal is to open in April 2020.

Councilmember Laliberte asked whether there is more capacity for more rooms in Roseville.

Mr. Noble responded the room supply number in Roseville is approximately 1375. There is a 75% occupancy average. He noted this is a cyclical industry. On average, there is a 3.3% Rev-PAR growth. Based upon that growth, the City can support 35 new rooms a year. By the time it opens, the hotel will have consumed in demand the number of new rooms. There will not be negative impact on existing hotel supply. The existing supply is older, and there is an opportunity to refresh the inventory.

Mr. Kuela introduced himself as the property owner. He has owned the land since 2000. He has considered various projects over the years and believes this is the best use for this land. He believes in the project so strongly that he has invested in the property and is a 10% owner.

Mayor Roe offered an opportunity for public comment, with no one coming forward.

Etten moved, Willmus seconded, approval of the Concept PUD, an amendment to the Centre Pointe PUD (Attachment D) allowing a fourth hotel on property addressed at 3015 Centre Pointe Drive.

Council Discussion

Councilmember Etten stated this fits the different uses in the use chart for the PUD. This has been a difficult spot to fill, and this is a good way to move forward.

Councilmember Laliberte inquired what the Roseville Visitors Association would comment on this.

Mayor Roe noted that he has already inquired with the RVA. There is concern among existing hotels about the competition, but they also understand the marketplace and understand this product. It was not enthusiastic support or opposition.

Councilmember McGehee stated she does not like the green space plan. She also noted that she would rather have this replace a couple of other hotels in town.

Mayor Roe declared support for the motion. This is a particularly high focus area and there is desire for jobs and economic activity. Another hotel feels like a little bit of a compromise, but he is supportive of the motion.

Roll Call

Ayes: Willmus, Laliberte, Etten, McGehee and Roe.

Nays: None.

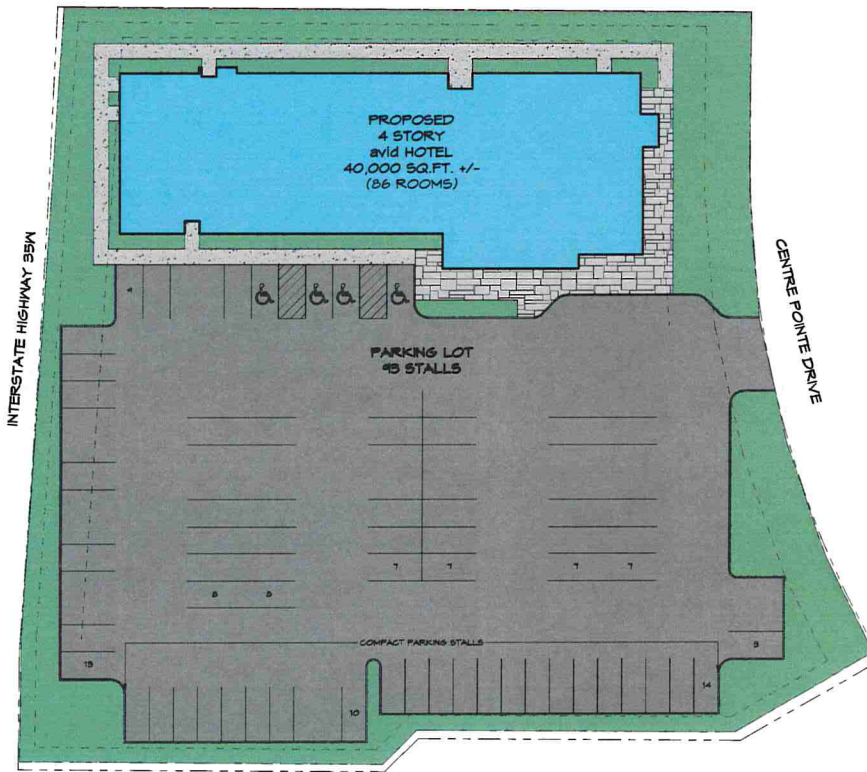
Etten moved, Willmus seconded, to continue the Council meeting to the completion of the agenda.

Roll Call

Ayes: Willmus, Laliberte, Etten, McGehee and Roe.

Nays: None.

Councilmember Laliberte asked staff to bring back the previously requested updates to the Planned Unit Development based upon prior feedback given by the Council.




1 **SITE PLAN - OPTION 'B'**
A1 1" = 20'-0"

6/19/2018 11:08 AM P:\Projects\18047 and Hotel - Roseville\Drawings\SET\18047 Roseville Site Plan - 02.dwg



1403 122nd STREET - SUITE C
 CHIPPEWA FALLS, WI 54724
 PHONE: 715.832.0375
 FAX: 715.726.1669
 www.rivervalleyarchitects.com

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PROPOSED AVID HOTEL - ROSEVILLE, MN

INFORMATION PERTAINING TO EXISTING CONDITIONS IS BASED
 ON AVAILABLE RECORDS AND/OR VISUAL INSPECTION OF THE
 EXISTING CONDITIONS. WHILE SUCH DATA HAS BEEN COLLECTED
 WITH REASONABLE CARE, THERE IS NO EXPRESSED OR IMPLIED
 GUARANTEE THAT CONDITIONS SO INDICATED ARE ENTIRELY
 REPRESENTATIVE OF THOSE ACTUALLY EXISTING. ALL EXISTING
 CONDITIONS SHALL BE FIELD VERIFIED.

DATE: 04.23.2018
 JOB NO. 18-047

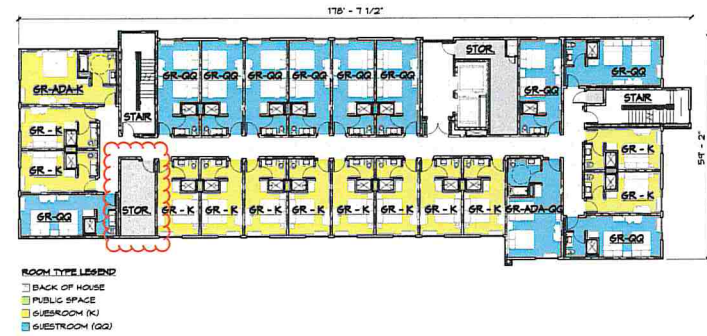
SHEET
A1



1 FIRST LEVEL FLOOR PLAN
A2 1/16" = 1'-0"



2 SECOND LEVEL FLOOR PLAN
A2 1/16" = 1'-0"



3 THIRD LEVEL FLOOR PLAN
A2 1/16" = 1'-0"



4 FOURTH LEVEL FLOOR PLAN
A2 1/16" = 1'-0"

ROOM TYPE	ROOM COUNTS				
	FIRST LEVEL	SECOND LEVEL	THIRD LEVEL	FOURTH LEVEL	GRAND TOTAL
GUESTROOM (K)	7	13	13	13	46
GUESTROOM (GG)	4	11	11	11	37
	11	24	24	24	83

BUILDING AREAS	
LEVEL 01	11,752 SF
LEVEL 02	4,316 SF
LEVEL 03	4,316 SF
LEVEL 04	4,316 SF
TOTAL*	31,110 SF

3/17/2018 1:41:02 PM R:\Projects\Avid Hotel - Roseville\Drawings\REV\18-04-050 floor plans.rvt



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CONDITIONS SHALL BE FIELD VERIFIED.

DATE:
03-01-2018
JOB NO.
18-

SHEET
A2

Exterior Entrance Night View

