

 **ROSEVILLE**
VARIANCE BOARD
REGULAR MEETING AGENDA

Wednesday, August 4, 2021 at 5:30 p.m.

Members of the public who wish to speak during public comment or on an agenda item may do so in person during this meeting or virtually by registering at www.cityofroseville.com/attendmeeting.

- 1. Call to Order**
- 2. Roll Call & Introductions**
- 3. Approval of Agenda**
- 4. Review of Minutes: July 7, 2021**
- 5. Public Hearing**
 - a.** Consider a request by Genisys Credit Union for a variance to City Code §1005.06.E.3, Frontage Requirement, to permit a building to occupy less than the required 70% of the street frontage at 2501 Fairview Avenue (PF21-009)
- 6. Adjourn**



**Variance Board Regular Meeting
City Council Chambers, 2660 Civic Center Drive
Draft Minutes – Wednesday, July 7, 2021 – 5:30 p.m.**

- 1 **1. Call to Order**
2 Chair Pribyl called to order the regular meeting of the Variance Board meeting at
3 approximately 5:30 p.m. and reviewed the role and purpose of the Variance Board.
4
- 5 **2. Roll Call & Introductions**
6 At the request of Chair Pribyl, City Planner Thomas Paschke called the Roll.
7
8 **Members Present:** Chair Michelle Pribyl; Vice Chair Michelle Kruzel; and Member
9 Karen Schaffhausen.
10
11 **Members Absent:** None
12
13 **Staff Present:** City Planner Thomas Paschke, Senior Planner Brian Lloyd,
14 Community Development Director Janice Gundlach, and
15 Community Development Department Assistant Stacy Johnson
16
- 17 **3. Approval of Agenda**
18
19 **MOTION**
20 **Member Schaffhausen moved, seconded by Member Kruzel to approve the agenda**
21 **as presented.**
22
23 **Ayes: 3**
24 **Nays: 0**
25 **Motion carried.**
26
- 27 **4. Review of Minutes: June 2, 2021**
28 **MOTION**
29 **Member Kruzel moved, seconded by Member Schaffhausen to approve the June 2,**
30 **2021 meeting minutes.**
31
32 **Ayes: 3**
33 **Nays: 0**
34 **Motion carried.**
35
- 36 **5. Public Hearing**
37 Chair Pribyl reviewed protocol for Public Hearings and public comment and opened the
38 Public Hearing at approximately 5:35 p.m.
39
40 **a. PLANNING FILE 21-008**

41 **Request by Joshua Carlson for a variance to City Code §1004.08 to allow a**
42 **proposed home addition to encroach into the required rear yard setback at 2407**
43 **Irene Street.**

44 Senior Planner Lloyd reviewed the variance request for this property, as detailed in
45 the staff report dated July 7, 2021.

46
47 Member Schaffhausen asked if this would be setting a precedent and how would this
48 cascade to other potential developments.

49
50 Mr. Lloyd indicated variances are not prone to setting a precedent that the City would
51 not want to have going forward. Because the nature of the variance findings and the
52 criteria are really individual and in this specific case that the Board might find the
53 proposal not only does meet with unusual circumstances on the property which
54 justifies approval and find that the property can be used in a reasonable way. There
55 may be other, similar properties for which similar approvals would be a right move.

56
57 Member Kruzel indicated she drove by and thought this really enhances their needs
58 and does not really affect anyone else.

59
60 Chair Pribyl indicated in the packet it mentioned that the placement of the home and
61 addition on the lot in the drawing were approximated and was not off of a survey.
62 She referenced the language in the variance approval and wondered, if this proceeds,
63 does it allow for the addition to project ten feet into the required setback so that
64 would not allow it to be closer than twenty feet to the property line. She did not
65 know if there is a requirement for the applicant to confirm where that property line is
66 before construction based on that or what the implications of that are.

67
68 Mr. Lloyd explained there are a couple of things to consider. His understanding from
69 previous conversations with the homeowner is that the owner does know where the
70 property boundary is and even though the site plan materials provided do talk about
71 an approximate property line location that may be a function of the fact that it was not
72 a survey that was provided and was a site plan. In either case, the construction
73 company or homeowner will need to be able to show where that property boundary is
74 so City Inspectors can verify as they are in the field that the proposal is meeting the
75 approved setback.

76
77 Mr. Joshua Carlson, 2407 Irene Street, addressed the Board. He noted he believed
78 there is a surveyor stake on the property, particularly on the back of the property
79 which is what he is using as his basis of where the addition setback would be.

80
81 Chair Pribyl asked if anyone from the public wanted to address the Board. No one
82 came forward.

83
84 Chair Pribyl closed the public hearing at 5:45 p.m.

85
86 **MOTION**

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Member Kruzal moved, seconded by Member Schaffhausen, adoption of Variance Board Resolution No. 157 (Attachment D), entitled “A Resolution Approving a Variance to Roseville City Code §1004.08.B, Residential Setbacks, at 2407 Irene Street (PF21-008).”

**Ayes: 3
Nays: 0
Motion carried.**

6. Adjourn

**MOTION
Chair Pribyl adjourned the meeting at 5:47 p.m.**

**Ayes: 3
Nays: 0
Motion carried.**

ROSEVILLE
REQUEST FOR VARIANCE BOARD ACTION

Date: August 4, 2021
Item No. **5a**

Department Approval

Janice Gundlach

A. D. P. H.

Agenda Section
Public Hearings

Item Description: Request for approval of a variance to City Code §1005.06.E.3, Frontage Requirement, to permit a building occupy less than the required 70% of the street frontage **(PF21-009)**

APPLICATION INFORMATION

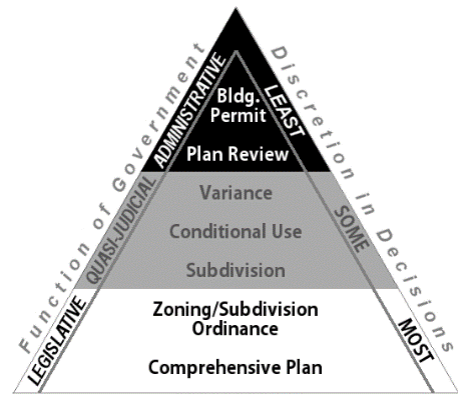
Applicant: Genisys Credit Union
Location: 2501 Fairview Avenue
Property Owner: City of Roseville
Open House Meeting: N/A
Application Submittal: Submitted July 2, 2021; deemed complete July 7, 2021
City Action Deadline: August 31, 2021, per Minn. Stat. 15.99
Planning File History: PF20-006 – Major Plat

LEVEL OF DISCRETION IN DECISION MAKING: Actions taken on a Variance request is quasi-judicial; the City’s role is to determine the facts associated with the request and weigh those facts against the legal standards in State Statutes and City Code.

BACKGROUND

Genisys Credit Union is purchasing the former fire station property from the City to redevelop the site into a new bank branch with a drive-through. Such a proposal requires an approved conditional use for the drive through and must comply with all applicable general design standards of §1005.02.A and specific design standards of §1005.06. During the conceptual review process, it was pointed out to the development team the project will have difficulty complying with the Frontage Requirement standard of §1005.06.E.3 given the existing and/or required easements on the subject lot.

Specifically, §1005.06.E.3 states: *“At least 70% of the street frontage shall be occupied by the building façade placed within 85 feet of the front property line. Only two rows of parking and a drive lane may be placed within this setback area.”*



18 **VARIANCE ANALYSIS**

19 When considering new construction proposals, the Planning Division staff has generally been reluctant
20 to support variances from the standards set forth in the Zoning Code. This is especially true for new
21 developments seeking relief from the Design Standards. As such, the Planning Division noted the site
22 challenges early in the process so that design could maximize the buildable area of the site.

23 The Frontage Requirement dictates how much of the street frontage is to be occupied by building façade
24 based on the building’s proposed distance from the front property line. This requirement does not
25 provide for any flexibility due to site challenges or a desired building design. As such, this design
26 standard and the proposed site plan do not align and the applicant is seeking a variance. Specifically, the
27 property at 2501 Fairview Avenue has a street frontage length (lot width) of 200 feet, which translates
28 into a required building length requirement (or frontage) of 140 feet, or 70%, based upon the placement
29 of the proposed building within 85 feet of the front property line. The proposed Site Plan depicts
30 approximately 94 feet of building façade facing the street, equating to a frontage amount of 47%.
31 Although not constructed under the current Code, the existing site conditions provide 72 feet of building
32 façade facing the street, equating to 36% frontage. The proposed redevelopment will bring the site
33 closer to compliance with the Frontage Requirement.

34 This property also includes a 20-foot wide drainage and utility easement along the north and west
35 property boundary and a 40-foot wide multi-purpose easement (access, drainage and utility) along the
36 south property boundary. These easements are needed to preserve existing utilities (including
37 telecommunication fiber optics & City water main) and City and Xcel Energy access to property located
38 behind (or to the west) of the proposed site. These existing conditions severely limit building placement
39 options for Genisys.

40 Given the unique circumstances present on this lot, the applicant has developed a site and building plan
41 that is best suited for the property and complies with all other Code standards, except the frontage
42 requirement. Specifically, the proposal by Genisys includes a 94 foot wide building (including the
43 attached trash enclosure portion) located generally in the center of the lot. The building is placed up
44 against the southern easement, 45 feet from the northern easement or 65 feet from the north property
45 line. The structure is placed 75 feet from the front property line, affording two rows of parking and a
46 drive lane in front of the building, which is necessitated due to parking restrictions elsewhere on the
47 parcel. The site also provides a ring-road for access to the drive-through lane, as well as for access to
48 existing telecommunications equipment located north and east of the water tower on the city-owned lot
49 (Attachment C). Genisys will share the southerly access point with the City and Xcel Energy. In
50 support of the proposal and requested variance, the applicant has provided a detailed narrative
51 (Attachment D) that discusses the limitations of the site and circumstances present creating the need for
52 a variance.

53 Section 1009.04 (Variances) of the City Code explains that the purpose of a variance is “to permit
54 adjustment to the zoning regulations where there are practical difficulties applying to a parcel of land or
55 building that prevent the property from being used to the extent intended by the zoning.” State statute
56 further clarifies that “economic considerations alone do not constitute practical difficulties.”

57 Planning Division staff believes the analysis in this report demonstrates conflicting purposes among the
58 regulations, site constraints, and the desired development that represent a practical difficulty which the
59 variance process is intended to relieve.

60 Section 1009.04C of the City Code establishes a mandate the Variance Board make five specific
61 findings about a variance request as a prerequisite for approving the variance. Planning Division staff
62 has reviewed the application and offers the following draft findings:

- 63 **a.** *The proposal is consistent with the Comprehensive Plan.* Planning Division staff believes the
64 proposal is generally consistent with the Comprehensive Plan because it represents the type of
65 continued investment promoted by the Comprehensive Plan’s goals and policies and contributes
66 the following strategies:
- 67 • Create design standards for both vertical and horizontal mixed-use developments, not only so
68 that the uses are compatible, but so that the scale, mass, and feel of new development
69 enhances the desired community character.
 - 70 • Ensure that existing and future development of business and industry, shopping,
71 transportation, housing, entertainment, leisure, and recreation opportunities are in harmony
72 with the commitment Roseville has made to its environment and quality of life, without
73 compromising the ability of future generations to meet their own needs.
 - 74 • Promote and support the redevelopment of physically and economically obsolete or
75 underutilized property.

- 76 **b.** *The proposal is in harmony with the purposes and intent of the zoning ordinance.* The property is
77 currently zoned Regional Business-1 District (to become Core Mixed-Use), and with the
78 exception of the proposed variance, meets nearly all the building and site design requirements
79 outlined in §1005.02.A and §1005.06 of the City Code. Although this development proposal is
80 seeking a variance to the Frontage Requirement of §1005.06.E.3, the overall building placement
81 and drive-through location has been deemed by the Planning Division to be in harmony with the
82 purpose an intent of the applicable zoning standards given the easement limitations.

83 Staff finds that it would be nearly impossible for any redevelopment proposal to comply with the
84 frontage requirement from which the applicant seeks relief. In order to comply, the building
85 would have to occupy every foot of frontage not otherwise encumbered by easement. To do this,
86 access to the rear of the lot would be difficult given the only means to access the rear would be
87 through the shared access along the southerly property line. This would be especially difficult
88 for a service or retail-oriented use, which the area and zoning lends itself to. And, while it isn’t
89 always appropriate to provide relief from development standards when a site doesn’t fit exactly
90 with City Code standards, it must also be acknowledged that sometimes design elements just
91 don’t make sense or work well given the realities of a development site. Staff finds this is an
92 example of where there is likely more lost than gained, in terms of use of the property, by
93 requiring strict adherence to the Code.

- 94 **c.** *The proposal puts the subject property to use in a reasonable manner.* Staff finds this criterion is
95 met in that the current site and building plans put the lot to use in a reasonable manner allowed
96 by underlying zoning. More specifically, the Planning Division has concluded, absent this
97 variance, development on this lot could be deemed impractical and strict enforcement of the
98 Frontage Requirement Design Standard burdensome. The City Code offers variances in
99 instances where practical difficulties are present and this is one of those situations, especially
100 given existing site constraints due to access and easements, which preclude parking and building
101 placement within their boundaries.

- d. *There are unique circumstances to the property which were not created by the landowner.* As has been discussed above, the existing easements and the limits on use within the easements are a large factor in meeting the Frontage Requirement length. Building design is also a consideration, as it seems unreasonable to require a long and narrow building just to conform to a given standard that would otherwise make parking and access difficult. The applicant did not create this situation as these easements have been in place for years. Given this, Planning Division staff finds the lot has unique circumstances not created by the landowner/applicant.
- e. *The variance, if granted, will not alter the essential character of the locality.* Although Planning Division staff strives for fully Code-compliant development, especially the stated design standards of §1005.02.A and §1005.06, there are times when such strict enforcement of those standards is not in the best interest of the City or the applicant given an individual site’s characteristics. By granting the requested variance, the proposed project fits more appropriately on the lot and supports the desired drive-through. The proposed bank branch with drive-through does comply with Code and appears very consistent with other commercial developments with a drive-through in the immediate neighborhood (including one recently redeveloped property one lot to the south). As such, the granting of this variance will not alter the essential character of this generalized area or the locality.

PUBLIC COMMENT

At the time this RVBA was prepared, Planning Division staff has not received any comments or questions about the proposal.

RECOMMENDED VARIANCE BOARD ACTION

By motion adopt a resolution approving a variance to §1005.06.E.3, Frontage Requirement, allowing relief from constructing a building that occupies 70% (140 feet) of the lot frontage, based upon the content of this RVBA, public input, and Variance Board deliberation, and conditioned on development of the site consistent with the plans provided and attached to this RVBA.

ALTERNATIVE ACTIONS

- a. Pass a motion to table the item for future action. An action to table must be tied to the need of clarity, analysis and/or information necessary to make a recommendation on the request.
- b. Pass a motion denying the proposal. An action to deny must include findings of fact germane to the request.

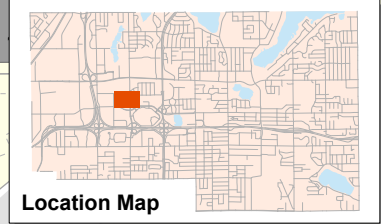
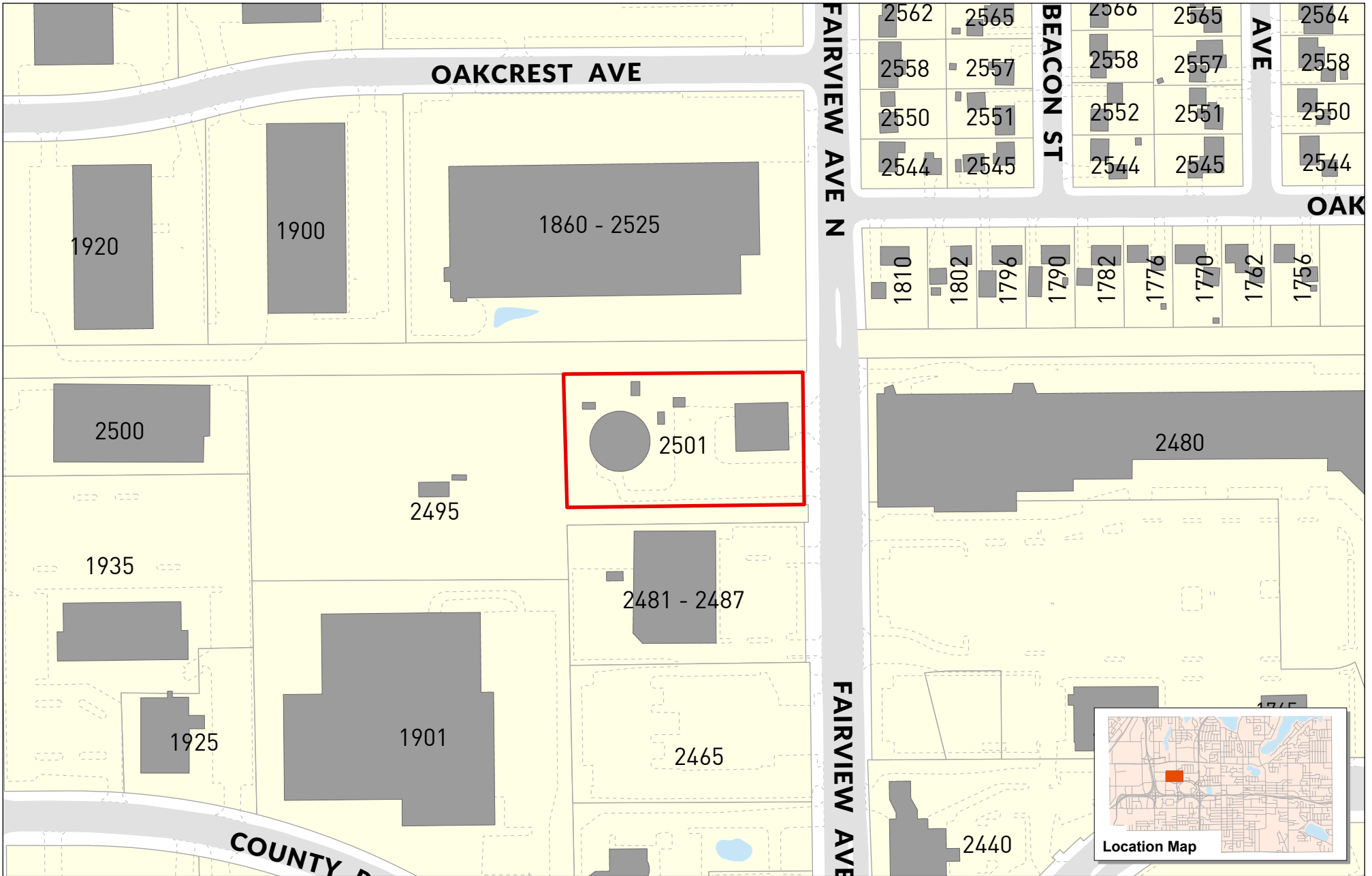
NEXT STEPS

The decision of the Variance Board is final unless an appeal is filed. The appeal period remains open for 10 days from the date of the decision, and an appeal may be made either by the applicant or by another Roseville property owner. An appeal must be submitted in writing to the City Manager by noon on August 16, 2021, for a hearing before the Board of Adjustments and Appeals.

Report prepared by: Thomas Paschke, City Planner | 651-792-7074
thomas.paschke@cityofroseville.com

- Attachments:**
- A. Area map
 - B. Aerial map
 - C. Narrative/development plans
 - D. Draft Resolution

Attachment A: Planning File 21-009



Attachment B: Planning File 21-009



Genisys Credit Union Roseville: Written Narrative for a variance regarding building frontage

Legal Description: That part of the South two hundred feet (S.200 feet) of the North two hundred sixty-six feet (N. 266 feet) of the East four hundred ten feet (E 410 feet) of the Southeast Quarter of the Northwest Quarter (SE ¼ of NW ¼), Section 9, Township 29, Range 23, lying west of a line lying 49.5 feet West of, and parallel with the East line of said Northwest Quarter Ramsey County, Minnesota

Parcel Identification Number: 092923240002

Zoning Code Verbiage:

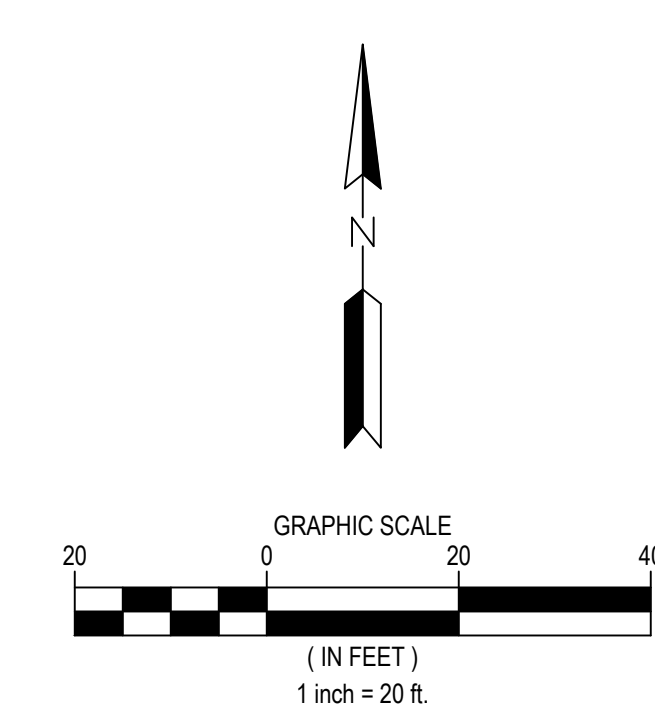
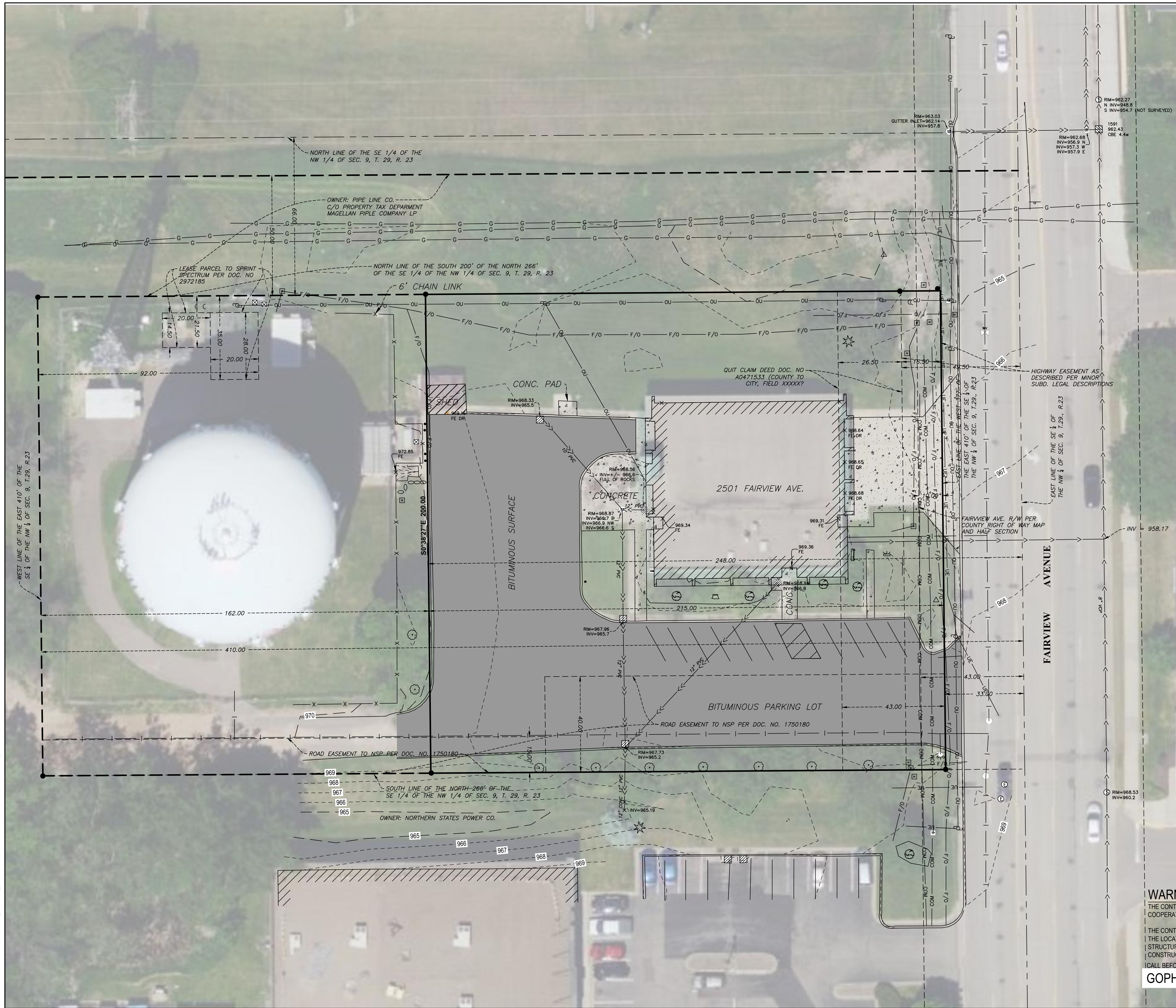
E. Frontage Requirement: A development must utilize one or more of the three options below for placement of buildings and parking relative to the primary street:

- 1. At least 50% of the street frontage shall be occupied by building facades placed within 20 feet of the front lot line. No off-street parking shall be located between the facades meeting this requirement and the street.*
- 2. At least 60% of the street frontage shall be occupied by building facades placed within 65 feet of the front lot line. Only 1 row of parking and a drive aisle may be placed within this setback area.*
- 3. At least 70% of the street frontage shall be occupied by building facades placed within 85 feet of the front lot line. Only 2 rows of parking and a drive aisle may be placed within this setback area.*

Response Narrative:

We are asking for a variance regarding the above frontage requirements at this site. As the City is aware, the site is heavily constrained by access and utility easements on the south and north sides to maintain access to utilities and the water tower/maintenance shed on the western side of the site. These easements, which prevent any structure from being built over them, effectively make it unattainable to achieve these frontage minimums. In order to maintain a drive to the water tower on the south while also keeping the critical drive-thru circulation on the north, we believe that the proposed frontage as shown is the most optimum use of the site and will still accomplish the City's goals of providing diverse mixed use along this corridor that is welcoming to pedestrians. It also should be noted that after accounting for these easements, nearly 70% of the buildable north-south axis on the site will be occupied by the bank and its matching equipment enclosure. For these reasons, we believe that the proposed use with this variance granted would comply with the comprehensive plan, the spirit of the zoning code, and

uses the site in the maximum and reasonable manner given the unique constraints not created by the applicant. The variance if granted will not alter the essential character of the locality since the building maximizes upon the buildable area and will provide a welcoming and elegant amenity to the core of Roseville.



- LEGEND**
- PROPERTY BOUNDARY
 - LOT LINE
 - - - EASEMENT LINE
 - - - SETBACK LINE
 - - - RIGHT OF WAY LINE
 - - - EXISTING EASEMENT LINE
 - - - EXISTING PROPERTY LINE
 - >>> EXISTING STORM SEWER
 - >>> EXISTING SANITARY SEWER
 - | | | EXISTING WATERMAIN
 - G G EXISTING UNDERGROUND GAS LINE
 - COM EXISTING UNDERGROUND COMMUNICATION LINE
 - F/O F/O EXISTING UNDERGROUND FIBER OPTIC LINE
 - UE UE EXISTING UNDERGROUND ELECTRIC LINE
 - OU EXISTING OVERHEAD UTILITY LINE
 - - - EXISTING EDGE OF PAVEMENT
 - - - EXISTING CURB AND GUTTER
 - [Pattern] EXISTING CONCRETE SURFACE
 - [Pattern] EXISTING ASPHALT SURFACE
 - [Pattern] EXISTING BUILDING
 - - - 901 EXISTING MINOR CONTOUR
 - - - 900 EXISTING MAJOR CONTOUR
 - [Symbol] EXISTING STORM SEWER INLET

- NOTES**
- SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.

WARNING:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

ICALL BEFORE YOU DIG

GOPHER STATE ONE CALL
TWIN CITY AREA: 651-454-0002
TOLL FREE 1-800-252-1166

Attachment C

WENCK
now part of
Stantec

7500 OLSON MEMORIAL HWY
SUITE 300
GOLDEN VALLEY, MN 55427
PHONE: 763-252-6800
FAX: 952-831-1268
WWW.WENCK.COM

CLIENT:

WELSH
CONSTRUCTION

CLIENT:

GENISYS
CREDIT UNION

GENISYS CREDIT UNION ROSEVILLE
CITY OF ROSEVILLE
RAMSEY COUNTY, MINNESOTA

PROJECT TITLE:

ISSUE NO.:	1
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DESCRIPTION:

CITY SUBMITTAL

DATE:

07/02/2021

PROJECT NO.: 1513-20-200

DWN BY:	CHKD BY:	APPD BY:
JTP	DML	DML

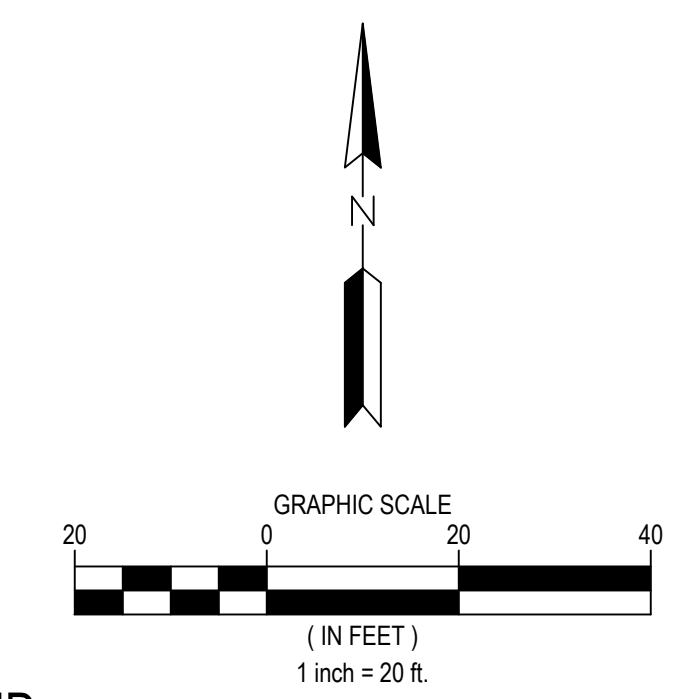
ISSUE DATE: 07/02/2021

ISSUE NO.: 1

SHEET TITLE: EXISTING CONDITIONS

SHEET NO.: **G-003**

NOT FOR CONSTRUCTION



LEGEND

- PROPERTY BOUNDARY
- LOT LINE
- EASEMENT LINE
- SETBACK LINE
- RIGHT OF WAY LINE
- EXISTING EASEMENT LINE
- EXISTING PROPERTY LINE
- REMOVE BITUMINOUS PAVEMENT
- REMOVE CONCRETE PAVEMENT
- REMOVE BUILDING
- REMOVE CURB AND GUTTER
- SAWCUT PAVEMENT
- ROCK CONSTRUCTION EXIT
- SILT FENCE
- INLET PROTECTION
- TREE PROTECTION
- REMOVE TREE

NOTES

1. SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.
2. UNTRENCHED SILT FENCE OR ORANGE SNOW FENCE MAY BE USED FOR TREE PROTECTION
3. CONSTRUCTION SITE SHALL HAVE STABILIZED EXIT AT ALL TIMES THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR IS ULTIMATELY RESPONSIBLE TO PROTECT DOWNSTREAM WATERS FROM CONSTRUCTION RUNOFF.
4. CONSTRUCTION LIMITS AND SILT FENCE SHOWN OFF SET FROM PROPERTY LINE FOR CLARITY, WHEN APPLICABLE.
5. CLEAN AND GRUB WITHIN CONSTRUCTION LIMITS AS NEEDED FOR CONSTRUCTION.

KEYNOTES

1. REMOVAL ITEM
 - 1.1. SAWCUT PAVEMENT
 - 1.2. REMOVE BITUMINOUS PAVEMENT
 - 1.3. REMOVE CONCRETE PAVEMENT
 - 1.4. REMOVE CURB AND GUTTER
 - 1.5. REMOVE TREE
 - 1.6. REMOVE BENCH
 - 1.7. REMOVE GAS METER AND SERVICE - COORDINATE WITH UTILITY SERVICE PROVIDER
 - 1.8. REMOVE SHED
 - 1.9. REMOVE LANDSCAPE LIGHT
 - 1.10. REMOVE BUILDING/STRUCTURE AND FOUNDATIONS
 - 1.11. REMOVE EXISTING STORM SEWER AND STRUCTURES
 - 1.12. REMOVE BASKETBALL HOOP
 - 1.13. SALVAGE AND REINSTALL HYDRANT. SEE SHEET C-401 FOR REINSTALLATION LOCATION.
2. PROTECT ITEM
 - 2.1. PROTECT EXISTING SMALL UTILITIES AND STRUCTURES
 - 2.2. PROTECT EXISTING SANITARY SEWER AND STRUCTURES
 - 2.3. PROTECT EXISTING WATERMAIN AND APPURTENANCE
3. EROSION CONTROL ITEM
 - 3.1. INLET PROTECTION - SEE DETAIL EC-5/C-801
 - 3.2. SILT FENCE - SEE DETAIL 11/C-804
 - 3.3. ROCK CONSTRUCTION ENTRANCE - SEE DETAIL EC-3/C-801
 - 3.4. TREE PROTECTION - SEE NOTE 2 THIS SHEET

WARNING:

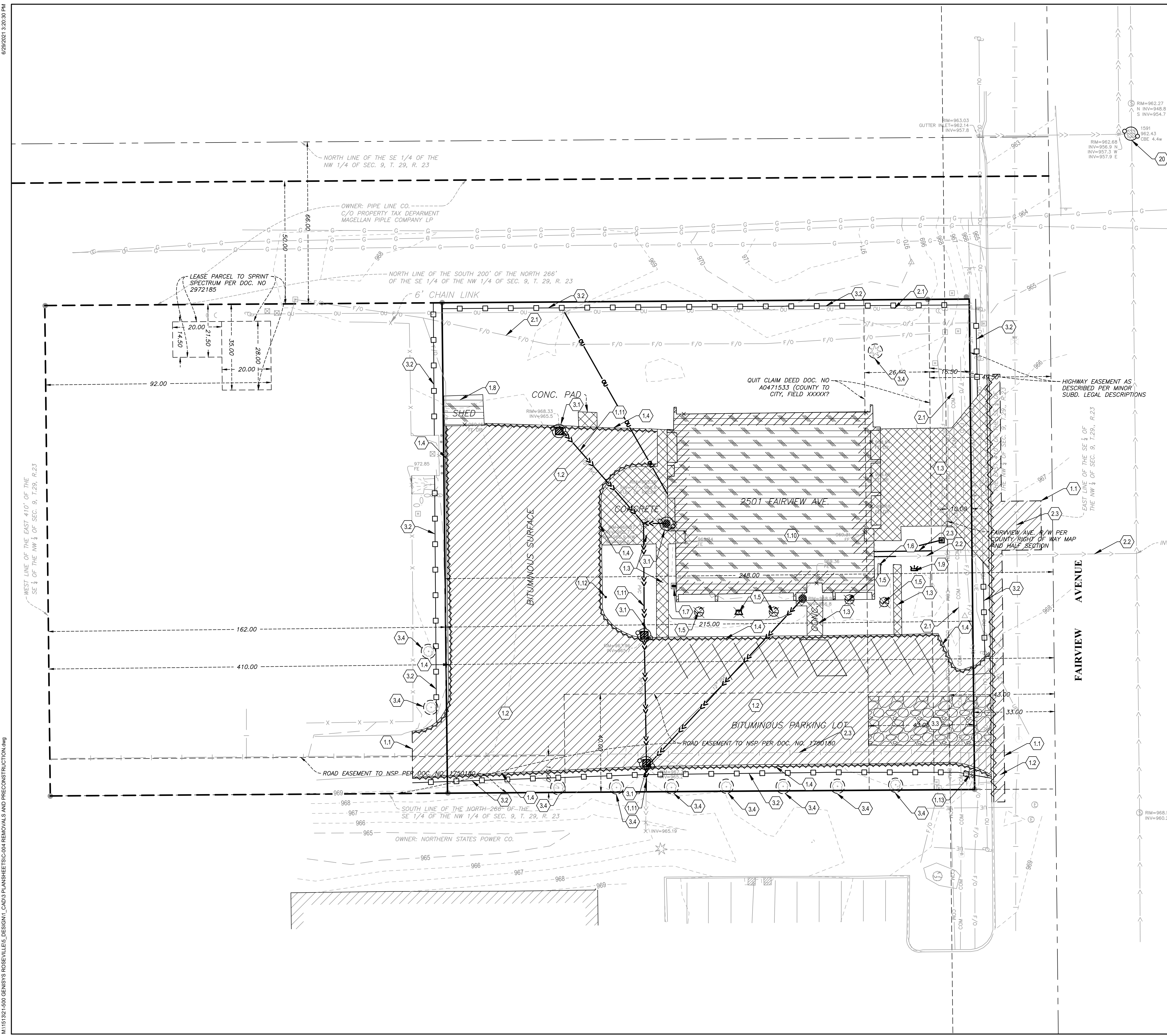
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CALL BEFORE YOU DIG

GOPHER STATE ONE CALL

TWIN CITY AREA: 651-454-0002
 TOLL FREE 1-800-252-1166

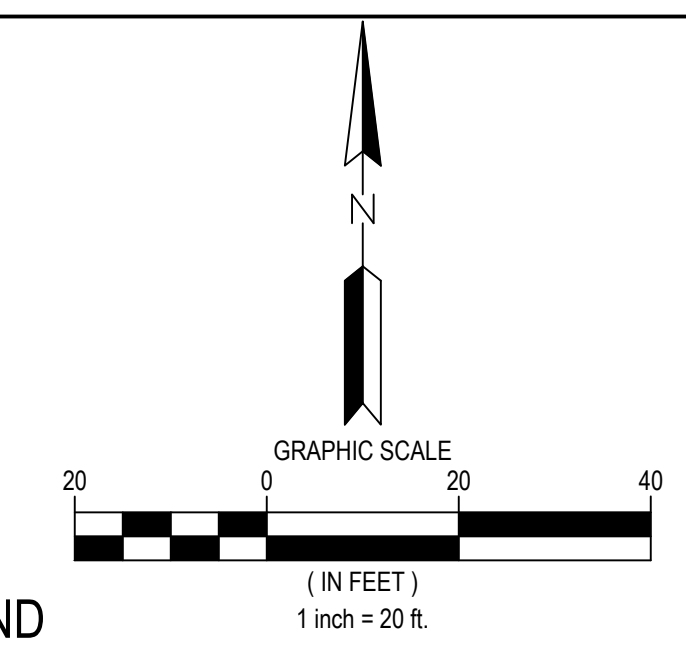


M:\151321-1500 GENISYS ROSEVILLE\DESIGN\1 CAD\3 PLANS\HETS\C-004-REMOVALS AND PRECONSTRUCTION.dwg 07/02/2021 3:20:30 PM

PROJECT NO.: 1513-20-200
 DWN BY: JTP
 CHKD BY: DML
 APPD BY: DML
 ISSUE DATE: 07/02/2021
 ISSUE NO.: 1

NOT FOR CONSTRUCTION

SHEET TITLE:
**REMOVALS AND
 PRE-CONSTRUCTION
 EROSION CONTROL PLAN**
 SHEET NO.:
C-004



LEGEND

- PROPERTY BOUNDARY
- LOT LINE
- EASEMENT LINE
- SETBACK LINE
- RIGHT OF WAY LINE
- EXISTING EASEMENT LINE
- EXISTING PROPERTY LINE
- CURB AND GUTTER
- BITUMINOUS PAVEMENT
- CONCRETE PAVEMENT
- PROPOSED PARKING COUNT

NOTES

1. SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.
2. COORDINATE WITH PROJECT PARTNERS TO OBTAIN RELATED CONSTRUCTION DOCUMENTS/DRAWINGS

KEYNOTES

1. STANTEC DESIGN ITEMS
 - 1.1. MATCH EXISTING
 - 1.2. CONCRETE - SEE SHEET C-601
 - 1.3. BITUMINOUS - SEE SHEET C-601
 - 1.4. CURB AND GUTTER - SEE SHEET C-601
 - 1.5. CONCRETE VALLEY GUTTER - SEE SHEET C-601
 - 1.6. CONCRETE DRIVEWAY APRON - SEE SHEET C-601
 - 1.7. ADA ACCESSIBLE PEDESTRIAN RAMP - SEE SHEET C-301 FOR DETAILED GRADING
 - 1.8. ADA ACCESSIBLE PARKING STALL WITH SIGN - SEE DETAIL 6.8.9,10/C-804
 - 1.9. ADA VAN ACCESSIBLE PARKING STALL WITH SIGN MOUNTED ON BOLLARD - SEE DETAIL 6.8.9,10/C-804
 - 1.10. ADA ACCESS AISLE WITH SIGN MOUNTED ON BOLLARD - SEE DETAIL 6.8.9,10/C-804
 - 1.11. PAVEMENT STRIPE (TYP.) - SEE DETAIL 7/C-804
2. DESIGNED BY OTHERS - SEE NOTE 2 THIS SHEET
 - 2.1. DOOR/STRUCTURAL STOOP
 - 2.2. TRASH/RECYCLING ENCLOSURE
 - 2.3. MONUMENT SIGN
 - 2.4. CANOPY/BUILDING OVERHANG

SITE ANALYSIS TABLE			
ADDRESS	2501 FAIRVIEW AVE N, ROSEVILLE, MN 55113		
EXISTING ZONING	INSTITUTIONAL		
PROPOSED ZONING	INSTITUTIONAL		
PROPOSED USE	CREDIT UNION		
LOT AREA SUMMARY			
LOT NUMBER	TOTAL AREA (AC.)	IMPERVIOUS AREA (AC.)	PERVIOUS AREA (AC.)
ONSITE EXISTING	0.91	0.59	0.33
EXISTING ROW WITH PROPOSED ROW DEDICATION	0.07	0.03	0.4
ONSITE PROPOSED	0.90	0.6	0.3
PROPOSED ROW WITH DEDICATION	0.14	0.08	0.06
BUILDING SUMMARY			
	BUILDING FOOTPRINT (SF)	GROSS FLOOR AREA (SF)	# OF STORIES
PROPOSED	3,369	3,369	1
PARKING SUMMARY			
TOTAL PARKING	REQUIRED	PROPOSED	
PROPOSED	12	26	
ACCESSIBLE PARKING	REQUIRED	PROPOSED	
PROPOSED	1	2	
GREENSPACE SUMMARY			
	CODE REQUIREMENT	PROPOSED	
IMPERVIOUS AREA (INCL. BLDG.)	85%	65%	
PERVIOUS AREA	15%	35%	
BUILDING AREA	NA	NA	
SETBACK SUMMARY			
	REQUIRED	PROPOSED	
FRONT	85'	90'	
SIDE	6'	60'	
REAR	10'	70'	

WARNING:

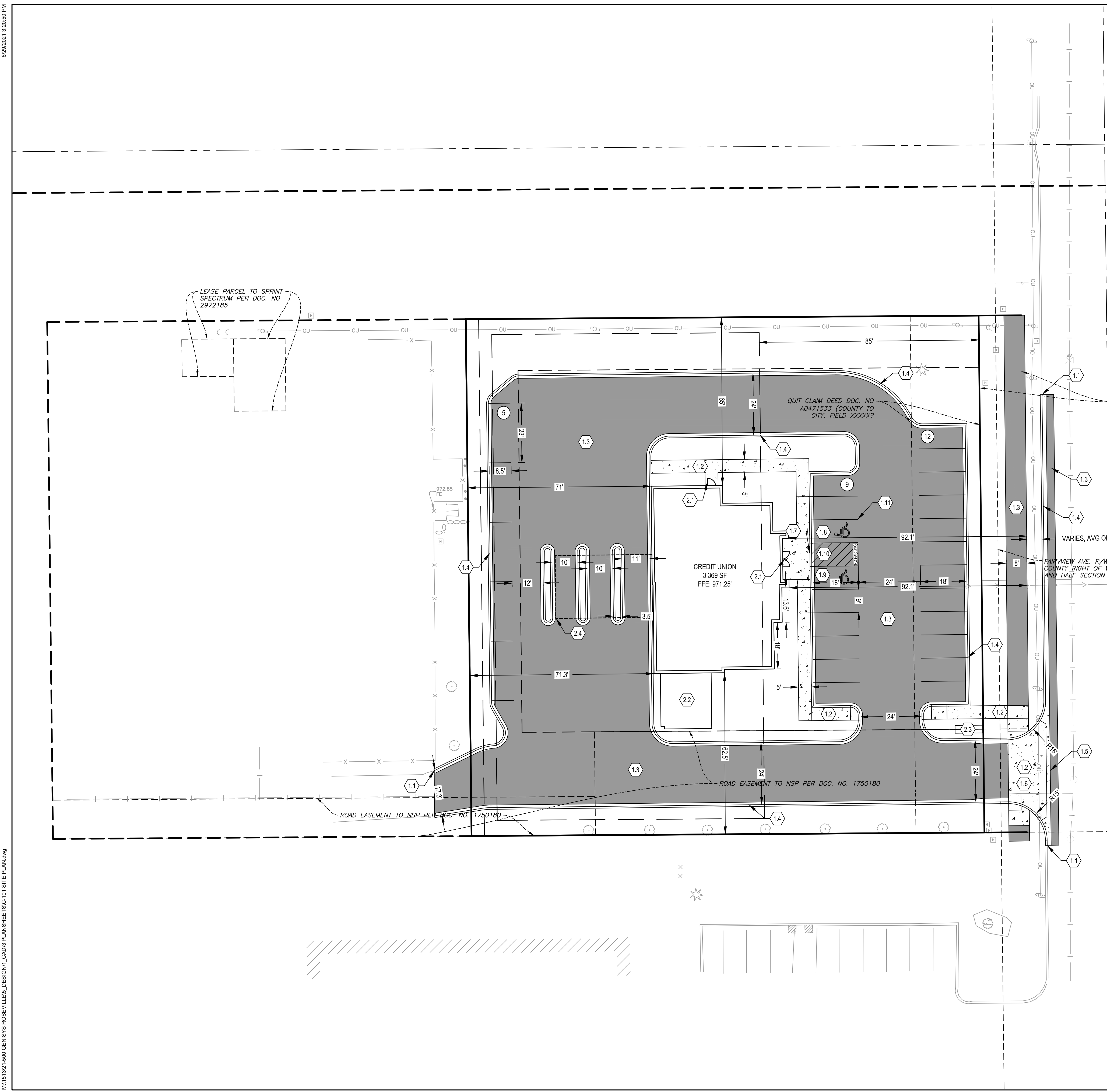
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ICALL BEFORE YOU DIG

GOPHER STATE ONE CALL

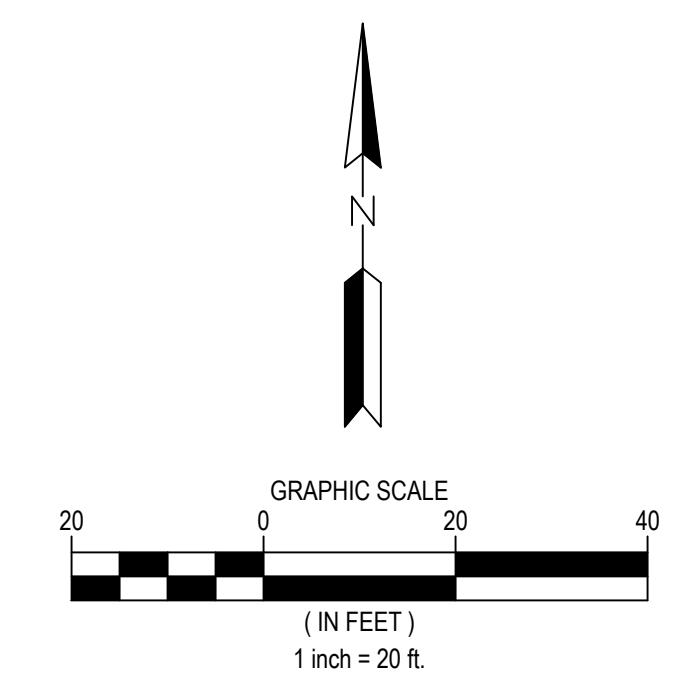
TWIN CITY AREA: 651-454-0002
 TOLL FREE 1-800-252-1166



DATE:	DESCRIPTION:	ISSUE NO.:
07/02/2021	CITY SUBMITTAL	1

NOT FOR CONSTRUCTION

PROJECT NO.:	1513-20-200
DWN BY:	JTP
CHKD BY:	DML
APPD BY:	DML
ISSUE DATE:	07/02/2021
ISSUE NO.:	1
SHEET TITLE:	POST-CONSTRUCTION STABILIZATION PLAN
SHEET NO.:	C-201



LEGEND

- PROPERTY BOUNDARY
- LOT LINE
- EASEMENT LINE
- SETBACK LINE
- RIGHT OF WAY LINE
- EXISTING EASEMENT LINE
- EXISTING PROPERTY LINE
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATERMAIN
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- CONSTRUCTION LIMITS
- STORM SEWER
- SANITARY SEWER
- WATERMAIN
- ROCK CONSTRUCTION EXIT
- PERMANENT STABILIZATION - SEE SHEET L-101
- SILT FENCE
- INLET PROTECTION
- TREE PROTECTION

NOTES

- SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.
- UNTRENCHED SILT FENCE OR ORANGE SNOW FENCE MAY BE USED FOR TREE PROTECTION
- CONSTRUCTION SITE SHALL HAVE STABILIZED EXIT AT ALL TIMES THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR IS ULTIMATELY RESPONSIBLE TO PROTECT DOWNSTREAM WATERS FROM CONSTRUCTION RUNOFF.
- CONSTRUCTION LIMITS AND SILT FENCE SHOWN OFF SET FROM PROPERTY LINE FOR CLARITY, WHERE APPLICABLE

KEYNOTES

- SILT FENCE - SEE DETAIL 11/C-804
- ROCK CONSTRUCTION ENTRANCE - SEE DETAIL EC-3/C-801
- TREE PROTECTION - SEE NOTE 2 THIS SHEET
- PERMANENT STABILIZATION - SEE SHEET L-101

WARNING:

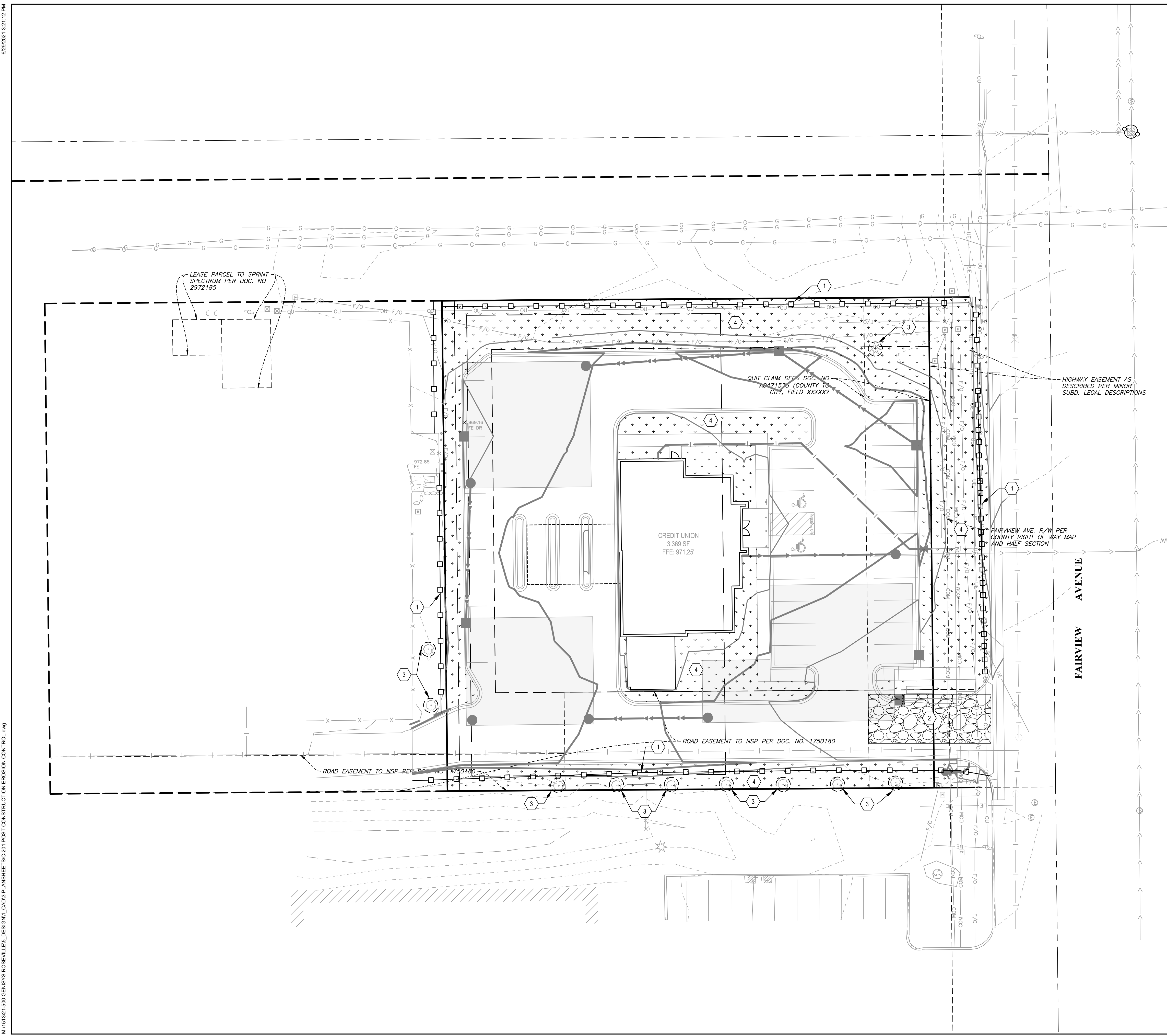
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GOPHER STATE ONE CALL

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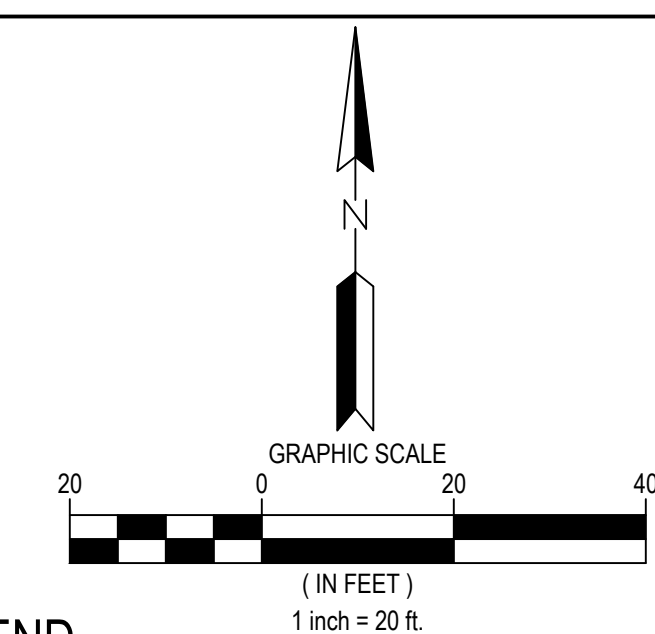


ISSUE NO.:	1
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DESCRIPTION:	CITY SUBMITTAL
DATE:	07/02/2021

NOT FOR CONSTRUCTION

PROJECT NO.:	1513-20-200				
DWN BY:	JTP	CHKD BY:	DML	APPD BY:	DML
ISSUE DATE:	07/02/2021				
ISSUE NO.:	1				
SHEET TITLE:	GRADING PLAN				
SHEET NO.:	C-301				



LEGEND

- PROPERTY BOUNDARY
- LOT LINE
- EASEMENT LINE
- SETBACK LINE
- RIGHT OF WAY LINE
- EXISTING EASEMENT LINE
- EXISTING PROPERTY LINE
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING SANITARY MANHOLE
- EXISTING STORM SEWER INLET
- SANITARY SEWER
- WATERMAIN
- STORM SEWER
- STORM MANHOLE
- STORM CATCH BASIN
- SANITARY MANHOLE
- GATE VALVE
- HYDRANT
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- FLOW LINE ELEVATION
- FINISHED GRADE ELEVATION
- MATCH EXISTING ELEVATION
- SIDEWALK ELEVATION
- TOP OF CURB ELEVATION
- LOW POINT SPOT ELEVATION
- STRUCTURE RIM SPOT ELEVATION
- EMERGENCY OVERFLOW ELEVATION
- SURFACE GRADE & FLOW DIRECTION

NOTES

1. SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.
2. EXISTING SPOT ELEVATIONS AT MATCH POINTS ARE BASED ON INTERPOLATED POINT TO POINT SURVEY DATA. CONTRACTOR IS RESPONSIBLE FOR VERIFYING CONNECTION POINTS PRIOR TO INSTALLATION OF IMPROVEMENTS. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IMMEDIATELY OF ANY FIELD DISCREPANCIES. CONTRACTOR IS RESPONSIBLE FOR MAKING NECESSARY ADJUSTMENTS IN THE FIELD FOR CONSTRUCTABILITY, REGULATORY COMPLIANCE (ADA), POSITIVE DRAINAGE, AND TO ENSURE SMOOTH TRANSITIONS TO FIELD CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR REWORK OF A DISCREPANCY THAT IS NOT COMMUNICATED TO THE ENGINEER IN WRITING.
3. CONTRACTOR MUST IMMEDIATELY NOTIFY THE OWNER AND ENGINEER IN WRITING OF DISCREPANCIES OR CONFLICTS IN THE CONTRACT DOCUMENTS BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS ARE TO BE MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER. FAILURE TO NOTIFY OWNER AND ENGINEER OF AN IDENTIFIABLE CONFLICT BEFORE PROCEEDING WITH INSTALLATION RELIEVES OWNER AND ENGINEER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.

WARNING:

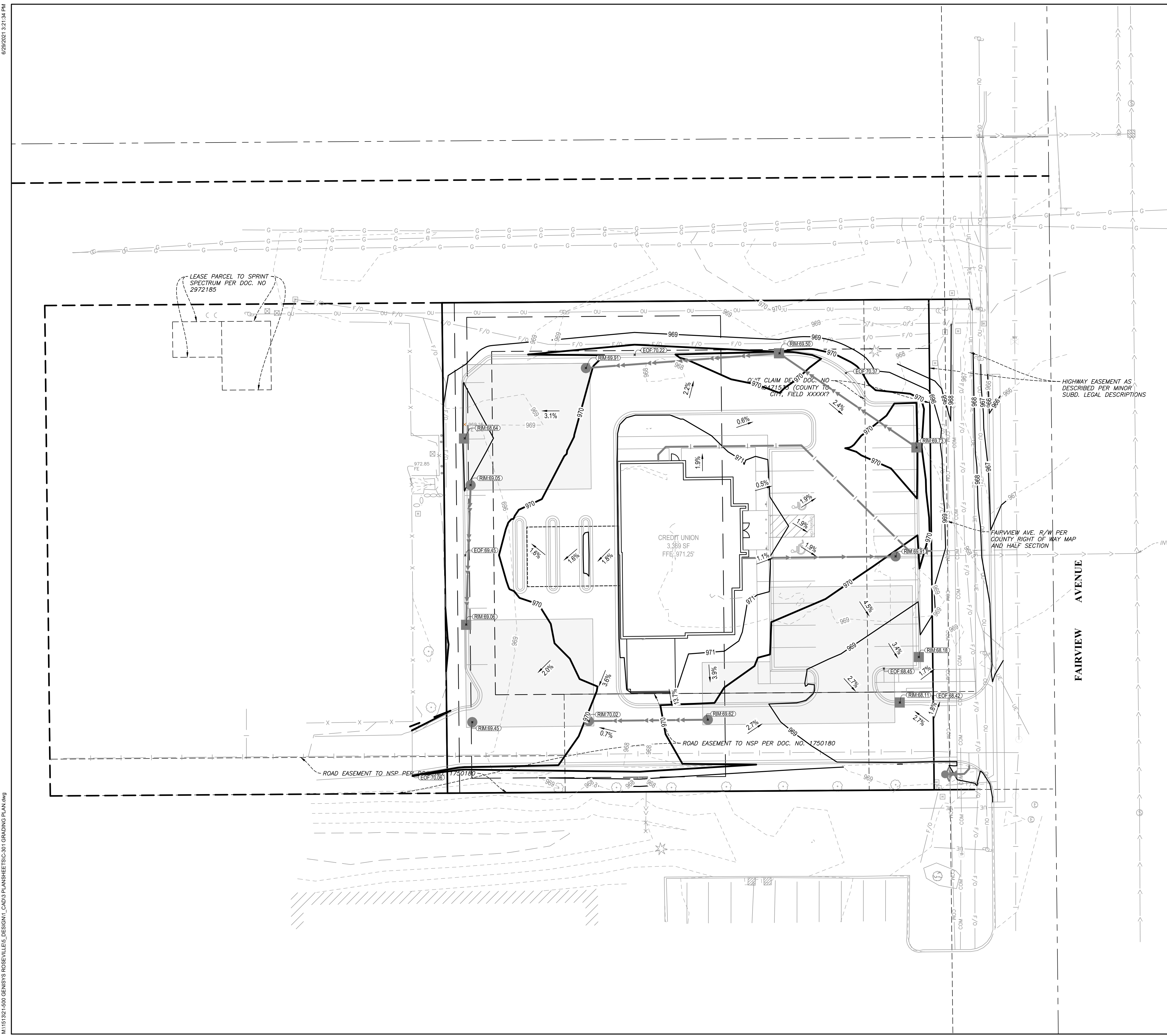
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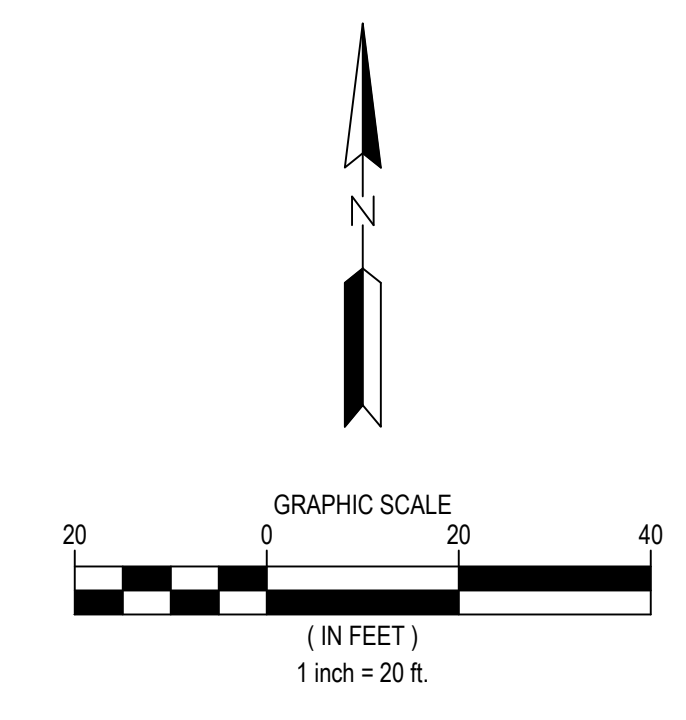
GOPHER STATE ONE CALL

TWIN CITY AREA: 651-454-0002
TOLL FREE: 1-800-252-1166



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LEGEND

- PROPERTY BOUNDARY
- LOT LINE
- EASEMENT LINE
- SETBACK LINE
- RIGHT OF WAY LINE
- EXISTING EASEMENT LINE
- EXISTING PROPERTY LINE
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATERMAIN
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- STORM SEWER
- SANITARY SEWER
- WATERMAIN
- STORM MANHOLE
- STORM CATCH BASIN
- SANITARY MANHOLE
- HYDRANT
- GATE VALVE

NOTES

1. SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.
2. CONTRACTOR SHALL VERIFY LOCATION, SIZE, INVERT, AND MATERIAL WITH MEP PLANS.

SANITARY STRUCTURE SCHEDULE			
STRUCTURE ID	SIZE*	CASTING*	DETAIL
SAN MH 1	48" Ø	R-1642B	1/C-803

* STRUCTURE SIZES ARE APPROXIMATE. PRECAST MANUFACTURER TO CONFIRM SIZES AND ADJUST AS NECESSARY, PRIOR TO BID OPENING
* NEENAH OR APPROVED EQUAL

WARNING:

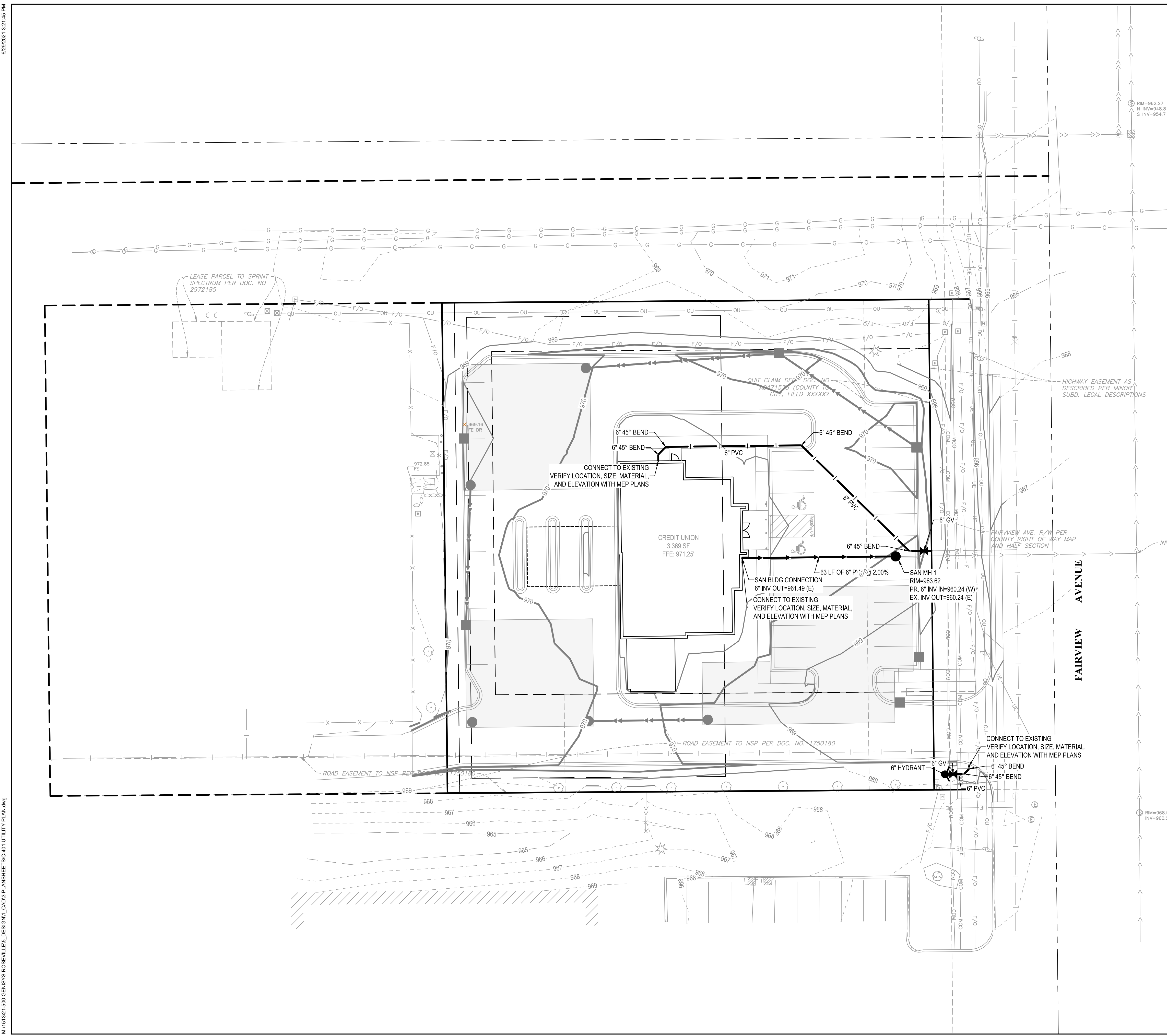
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NOT FOR CONSTRUCTION

DATE:	DESCRIPTION:	ISSUE NO.:
07/02/2021	CITY SUBMITTAL	1

NOT FOR CONSTRUCTION

PROJECT NO.:	1513-20-200
DWN BY:	JTP
CHKD BY:	DML
APPD BY:	DML
ISSUE DATE:	07/02/2021
ISSUE NO.:	1
SHEET TITLE:	LANDSCAPE PLAN
SHEET NO.:	L-101

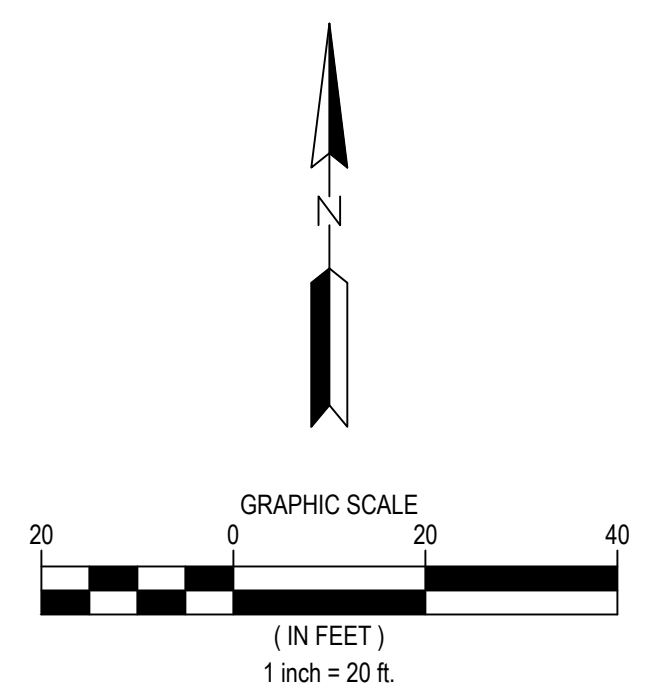
PLANTING SCHEDULE:

Trees

QTY	SYMBOL	COMMON NAME	LATIN NAME	HEIGHT	WIDTH	SPACING	SIZE
3	GT	STREET KEEPER HONEYLOCUST	GLEDITSIA TRIACANTHOS 'DRAVES'	45'	20'	PER PLAN	3" B&B
2	OV	IRONWOOD	OSTRYA VIRGINIANA	50'	25'	PER PLAN	3" B&B
6	AR	RED SUNSET MAPLE	ACER REUBRUM 'FRANKSRED'	45'	30'	PER PLAN	3" B&B
2	AK	KOREAN FIR	ABIES KOREANA	30'	15'	PER PLAN	6' B&B
4	JS	MEDORA JUNIPER	JUNIPERUS SCOPULARUM 'MEDORA'	15'	6'	PER PLAN	6' B&B
17		TOTAL TREES					

Perennials/Shrubs

QTY	SYMBOL	COMMON NAME	LATIN NAME	HEIGHT	WIDTH	SPACING	SIZE
56	DS	FIREFLY NIGHTGLOW BUSH HONEYSUCKLE	DIERVILLA SPLENDENS 'EL MADRIGAL'	3'	3'	PER PLAN	#5 POT
27	PM	MINIATURE SNOWBELLE MOCKORANGE	PHILADELPHUS X 'MINIATURE SNOWFLAKE'	4'	3'	PER PLAN	#5 POT
21	SB	PINK SPARKLER SPIREA	SPIRAEA BETULIFOLIA 'COURISPIO1'	4'	4'	PER PLAN	#5 POT
28	CS	ALLEMAN'S COMPACT DOGWOOD	CORNUS SERICEA 'ALLEMAN'S COMPACT'	5'	5'	PER PLAN	#5 POT
12	AM	BLACK CHOKEBERRY	ARONIA MELANOCARPA ELATA	6'	6'	PER PLAN	#5 POT
144		TOTAL PERENNIALS/SHRUBS					



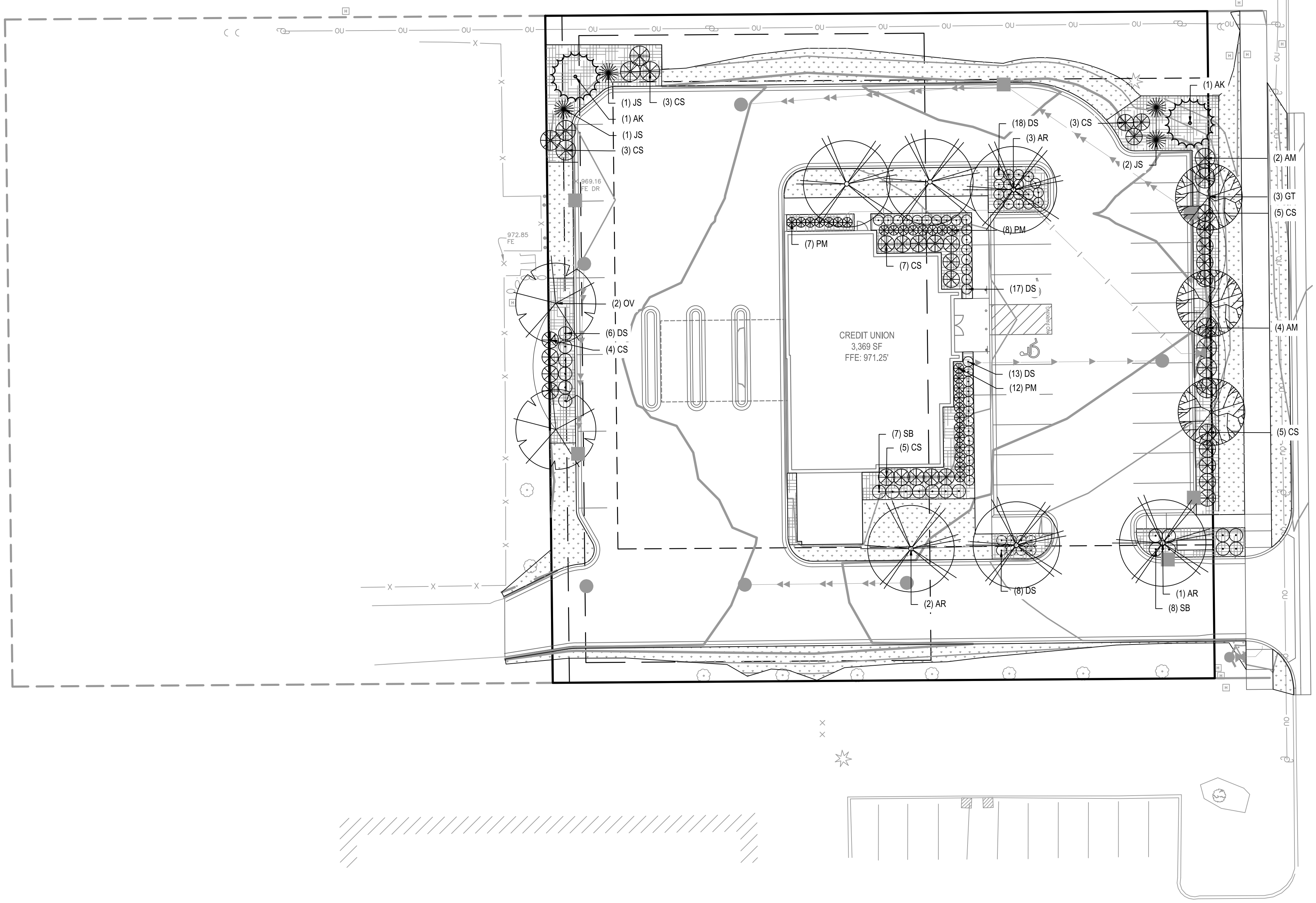
LEGEND

- PROPERTY BOUNDARY
- LOT LINE
- EASEMENT LINE
- SETBACK LINE
- RIGHT OF WAY LINE
- SECTION LINE
- QUARTER LINE
- EXISTING EASEMENT LINE
- EXISTING PROPERTY LINE
- DECIDUOUS TREE
- CONIFEROUS TREE
- SHRUB/PERENNIAL PLANT
- DOUBLE-SHREDDED HARDWOOD MULCH
- MNDOT SEED MIX 25-131: LOW MAINTENANCE TURF

NOTES

- SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.

	Required	Proposed
1 tree per 1,000 SF of gross building floor area (3,367/1,000), OR	4	
1 tree per 50 LF of site perimeter (830/50)	17	17
6 shrubs per 1,000 SF of gross building floor area (3,367/1,000*6), OR	24	
6 shrubs per 50 LF of site perimeter (830/50*6)	144	144



FAIRVIEW AVENUE

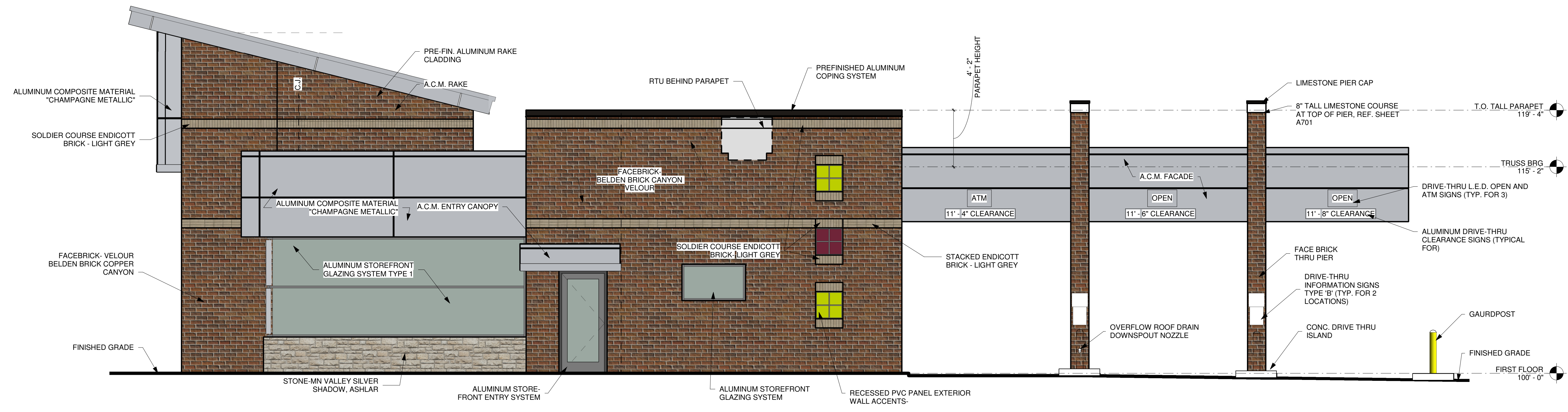
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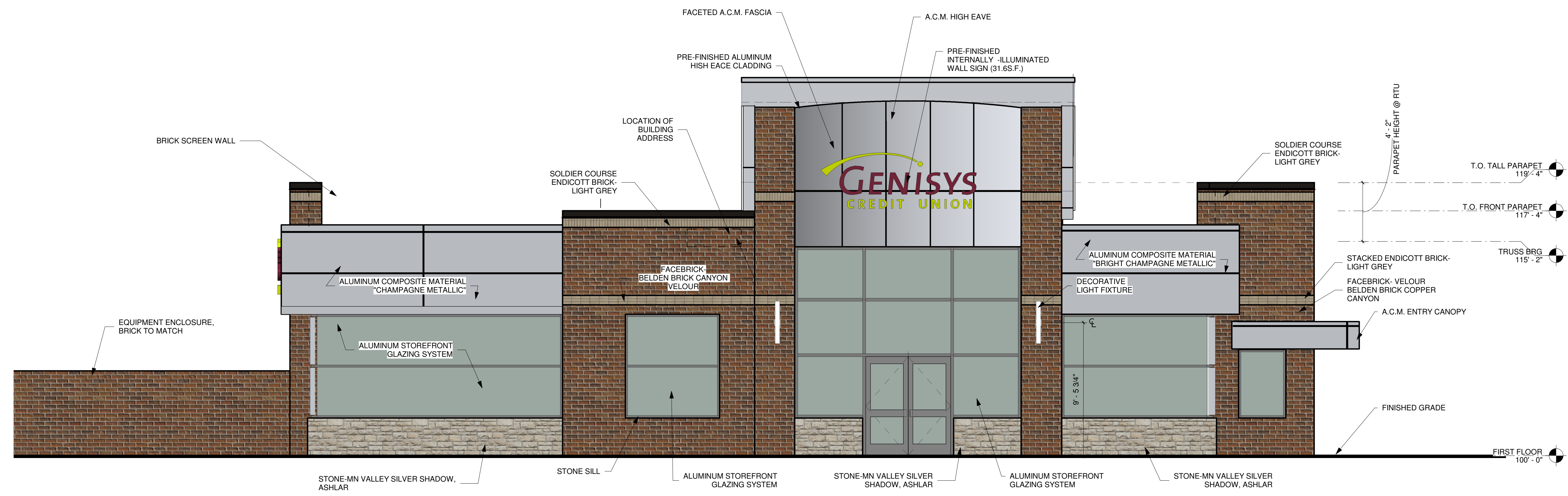




EXTERIOR MATERIALS - EAST

ACM - 401.23 SF, 29.7%	BRICK - 718.6 SF, 53.2%
GLAZE - 179.8 SF, 13.3%	STONE - 52.1 SF, 3.8%
1,351.73 SF TOTAL	

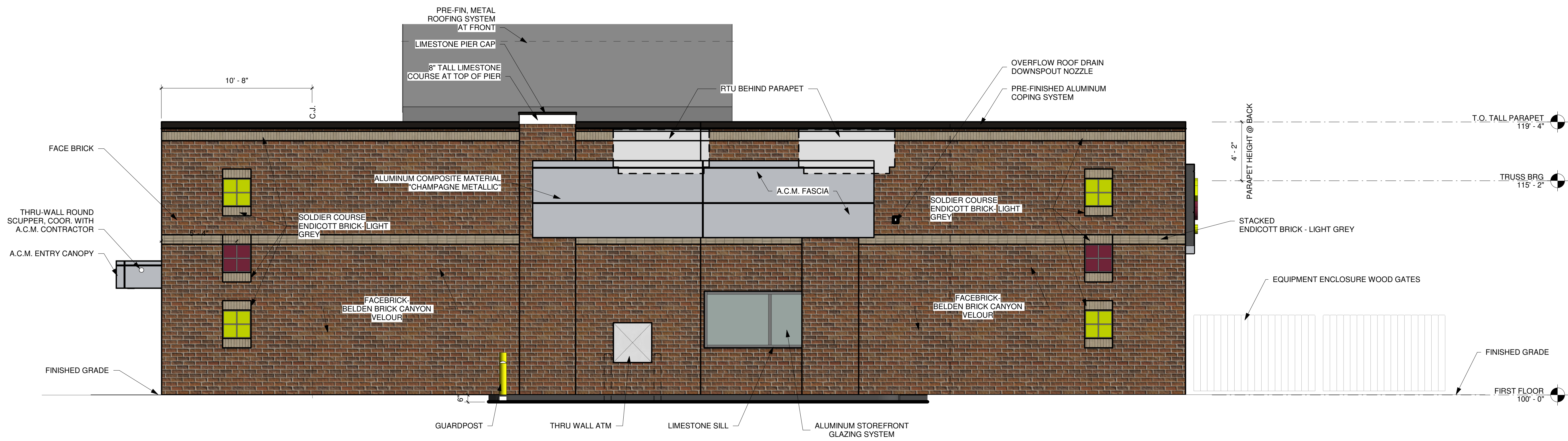
1 NORTH ELEVATION - CITY SUBMITTAL
 C301 1/4" = 1'-0"



EXTERIOR MATERIALS - SOUTH

ACM - 406.45 SF, 25.2%	BRICK - 608.57 SF, 37.7%
GLAZE - 496.92 SF, 30.8%	STONE - 102.58 SF, 6.3%
1,614.52 SF TOTAL	

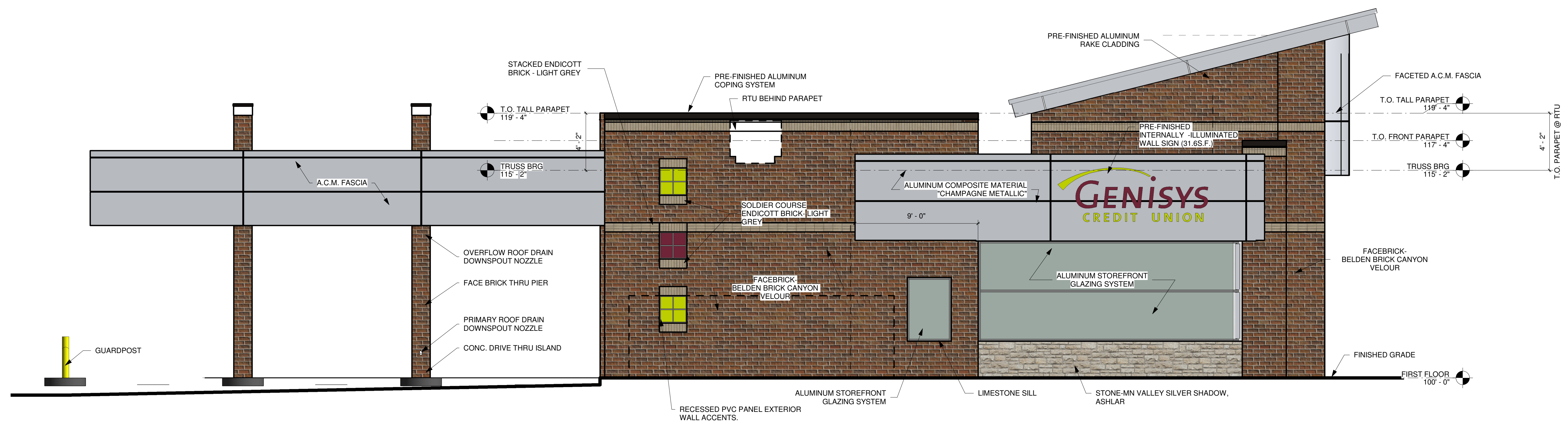
2 EAST ELEVATION - CITY SUBMITTAL
 C301 1/4" = 1'-0"



EXTERIOR MATERIALS - NORTH

ACM - 161.81 SF, 12.1%	BRICK - 1,145.67 SF, 85.8%
GLAZE - 27.44 SF, 2.1%	STONE - 0 SF, 0%
1,334.92 SF TOTAL	

1 WEST ELEVATION - CITY SUBMITTAL
 1/4" = 1'-0"



EXTERIOR MATERIALS - WEST

ACM - 453.58 SF, 33.9%	BRICK - 676.18 SF, 50.6%
GLAZE - 156.22 SF, 11.7%	STONE - 51.44 SF, 3.8%
1,337.42 SF TOTAL	

2 SOUTH ELEVATION - CITY SUBMITTAL
 1/4" = 1'-0"

**EXTRACT OF MINUTES OF MEETING OF THE
VARIANCE BOARD OF THE CITY OF ROSEVILLE**

Pursuant to due call and notice thereof, a regular meeting of the Variance Board of the City of Roseville, County of Ramsey, Minnesota, was held on the 4th day of August 2021, at 5:30 p.m.

The following Members were present: Members _____;
and _____ was absent.

Variance Board Member _____ introduced the following resolution and moved its adoption:

VARIANCE BOARD RESOLUTION NO. _____

A RESOLUTION APPROVING VARIANCES TO ROSEVILLE CITY CODE §1005.06.E.3

REGARDING FRONTAGE REQUIREMENTS (PF21-009)

WHEREAS, the subject property is legally described as:

LOT 2 BLOCK 1, FAIRVIEW FIRE STATION

WHEREAS, the City Code requires the following:

§1005.06.E.3 - *“At least 70% of the street frontage shall be occupied by the building façade placed within 85 feet of the front property line. Only two rows of parking and a drive lane may be placed within this setback area.”*

WHEREAS, §1005.06.E.3 (Frontage Requirement) dictates how much of the street frontage is to be occupied by building façade based on the building’s proposed distance from the front property line, and for which said code requirement does not provide for flexibility due to site challenges or a desired building design; and

WHEREAS, the property at 2501 Fairview Avenue has a street frontage length (lot width) of 200 feet, which translates into a required building length requirement (or frontage) of 140 feet, or 70%, based upon the placement of the proposed building within 85 feet of the front property line; and

WHEREAS, the applicant’s proposal includes a 94 foot wide building (including the attached trash enclosure portion) located generally in the center of the lot, equating to 47% frontage when 70% is normally required; and

WHEREAS, this property includes a 20-foot wide drainage and utility easement along the north and west property boundary and a 40-foot wide multi-purpose easement (access, drainage, and utility) along the south property boundary, which collectively create difficulties regarding overall site design; and

WHEREAS, said easements are needed to preserve existing utilities (including telecommunication fiber optics & City water main) and City and Xcel Energy access to property located behind the proposed site; and

WHEREAS, given these unique circumstances the applicant developed a site and building plan that best suits for the property and complies with all other Code standards; and

WHEREAS, City Code §1009.04 (Variances) establishes the purpose of a variance is "to permit adjustment to the zoning regulations where there are practical difficulties applying to a parcel of land or building that prevent the property from being used to the extent intended by the zoning;" and

WHEREAS, the Variance Board has made the following findings:

- a. *The proposal is consistent with the Comprehensive Plan.* The Variance Board finds the proposal is generally consistent with the Comprehensive Plan because it represents the type of continued investment promoted by the Comprehensive Plan's goals and policies and contributes the following strategies:
 1. Create design standards for both vertical and horizontal mixed-use developments, not only so that the uses are compatible, but so that the scale, mass, and feel of new development enhances the desired community character.
 2. Ensure that existing and future development of business and industry, shopping, transportation, housing, entertainment, leisure, and recreation opportunities are in harmony with the commitment Roseville has made to its environment and quality of life, without compromising the ability of future generations to meet their own needs.
 3. Promote and support the redevelopment of physically and economically obsolete or underutilized property.
- b. *The proposal is in harmony with the purposes and intent of the zoning ordinance.* The property is currently zoned Regional Business-1 District (to become Core Mixed-Use), and with the exception of the proposed variance, meets nearly all the building and site design requirements outlined in §1005.02.A and §1005.06 of the City Code. Although this development proposal is seeking a variance to the Frontage Requirement of §1005.06.E.3, the overall building placement and drive-through location has been deemed by the Planning Division to be in harmony with the purpose an intent of the applicable zoning standards given the easement limitations.

The Variance Board finds that it would be nearly impossible for any redevelopment proposal to comply with the frontage requirement from which the applicant seeks relief. In order to comply, the building would have to occupy every foot of frontage not otherwise encumbered by easement. To do this, access to the rear of the lot would be difficult given the only means to access the rear would be through the shared access along the southerly property line. This would be especially difficult for a service or retail-oriented use, for which the property is zoned.
- c. *The proposal puts the subject property to use in a reasonable manner.* The Variance Board finds this criterion is met in that the current site and building plans put the lot to use in a reasonable manner allowed by underlying zoning. More specifically, the Planning Division has concluded, absent this variance, development on this lot could be deemed impractical and strict enforcement of the Frontage Requirement Design Standard burdensome. The City Code offers variances in instances where practical difficulties are present and this is one of those situations, especially given existing site constraints due to access and easements, which preclude parking and building placement within their boundaries.
- d. *There are unique circumstances to the property which were not created by the landowner.* The existing easements and the limits on use within the easements are a large factor in meeting the Frontage Requirement length. Building design is also a consideration, as it seems unreasonable to require a long and narrow building just to conform to a given standard that would otherwise make parking and access difficult. The applicant did not create this situation as these easements have been in place for years. Given this, the Variance Board finds the lot has unique circumstances not created by the landowner/applicant.

- e. *The variance, if granted, will not alter the essential character of the locality.* Although the City strives for fully Code-compliant development, especially the stated design standards of §1005.02.A and §1005.06, there are instances when such strict enforcement of those standards is not in the best interest of the City or the applicant given an individual site's characteristics. By granting the requested variance, the proposed project fits more appropriately on the lot and supports the desired drive-through. The proposed bank branch with drive-through does comply with Code and is consistent with other commercial developments with a drive-through in the immediate neighborhood (including one recently redeveloped property one lot to the south). As such, the Variance Board finds the granting of this variance will not alter the essential character of this generalized area or the locality.

NOW THEREFORE BE IT RESOLVED, by the Roseville Variance Board, to approve the requested variance to §1005.06.E.3, Frontage Requirement, based on the proposed plans, the testimony offered at the public hearing, the above findings, conditioned on development of the site generally in compliance with the plans provided and attached to the Request for Variance Board Action dated August 4, 2021.

The motion for the adoption of the foregoing resolution was duly seconded by Variance Board Member _____ and upon vote being taken thereon, the following voted in favor: Members _____;
and _____ voted against;

WHEREUPON said resolution was declared duly passed and adopted.

Variance Board Resolution No. ____ – Genisys Credit Union (PF21-009)

STATE OF MINNESOTA)
) ss
COUNTY OF RAMSEY)

I, the undersigned, being the duly qualified City Manager of the City of Roseville, County of Ramsey, State of Minnesota, do hereby certify that I have carefully compared the attached and foregoing extract of minutes of a regular meeting of said Roseville Variance Board held on the 4th day of August 2021.

WITNESS MY HAND officially as such Manager this 4th day of August 2021.

Patrick Trudgeon, City Manager

SEAL