



Community Development Department  
651-792-7074 ♦ fax: 651-792-7070

**June 11, 2012**

Mr. Mark Abramovitz  
Flame Development Company  
1660 South Highway 100  
Suite 532  
St. Louis Park, MN 55416

Mr. Perry Bolin  
5009 Quail Avenue North  
Minneapolis, MN 55426

***Re: 1723 County Road B2 - Master Sign Plan Approval***

On May 10, 2012, the Roseville Master Sign Plan Committee held the administrative hearing to review and consider the Master Sign Plan 1723 County Road B2. No adjacent property owners or citizens were present to address the committee and the City Planner did not receive any calls, email, or letters concerning the proposal.

The MSP Committee has reviewed the proposal and approves the following as the MSP for 1723 County Road B2:

**WALL SIGN REQUIREMENTS**

- Advertising, flashing, pulsating, rotating light (or lights), rooftop, banners, mobile signs, and portable signs shall be prohibited, as well as other prohibited signs covered under Section 1010 of the Roseville City Code.
- Wall signs shall be limited to total of 392 square feet calculated as follows – 2 sq. ft. of signage for each lineal foot of building front times 196 lineal feet equals 392 total square feet of allowable building wall signage.
- Wall signs meeting the total square footage allowed, can be installed on all four sides of the building.
- Wall signs (including identity logos and/or symbols) shall be individual or channel letters that may be illuminated, have finished returns and/or be installed on raceways, and shall not exceed 36 inches in height.
- Letter returns and raceways may be painted, prefinished, or utilize exposed metal; and exposed metal shall be stainless steel, titanium, bronze, aluminum, or other non-corrosive material.
- Sign panels/cabinets may be used in place of individual or channel letters.

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- Sign panels/cabinets may be used in place of individual or channel letters.
- Sign material shall be limited to metal and acrylic with UV inhibitors. All materials shall be made of high quality durable materials and finishes, and be of the highest quality fabrication.
- Window graphics/signs shall be limited to 25% of the window area.

**FREESTANDING SIGN REQUIREMENTS**

- The site shall be allowed to refurbish the existing freestanding sign along County Road B2. The sign shall be limited to three sign panels totaling 120 sq. ft. and of the following dimensions - 5 feet by 15 feet or 75 sq. ft., 2-1/2 feet by 12 feet or 30 sq. ft., and 2 feet by 7-1/2 feet or 15 sq. ft. or a total of 120 sq. ft. for the sign. A 3 foot by 7-1/2 foot or 22.5 sq. ft. temporary leasing sign shall also be installed on the sign (see attached illustration)
- The existing freestanding sign shall also include an update metal panel which encases the pole.
- Should the property owner desire to replace the existing freestanding sign, the following requirements shall apply: the sign shall be allowed to be constructed 7 to 10 feet away from the easement/property line, be a maximum of 25 feet in height, and be of a monument style complete with a base of brick, block and/or stone. Signage shall be limited to 120 square feet equally distributed among the three tenants. Final plans for this sign to be reviewed and approved by the Planning Division
- Should the property owner desire a second freestanding sign adjacent to American Street, the following requirements shall apply: the sign shall have a minimum setback of 5 feet from the property line, be limited to a height of 8 feet, and including no greater than 60 sq. ft. of signage – three equal sized tenant spaces of 20 sq. ft. Final plans shall be reviewed and approved by the Planning Division.
- Leasing information shall be incorporated into one or both freestanding signs (such as contact name and number), which shall not count against the sign total. One option is a wall sign not exceeding 24 sq. ft. being placed on the building. No freestanding leasing sign are permitted on the premises.

**OTHER REQUIREMENTS**

- Landlord//owner sign-off of any sign proposal shall accompany any sign permit and shall meet the requirements of the MSP.
- A sign permit is required for the installation of all signs on the premises.

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Should you have any questions or comments, please call me at 651-792-7074.

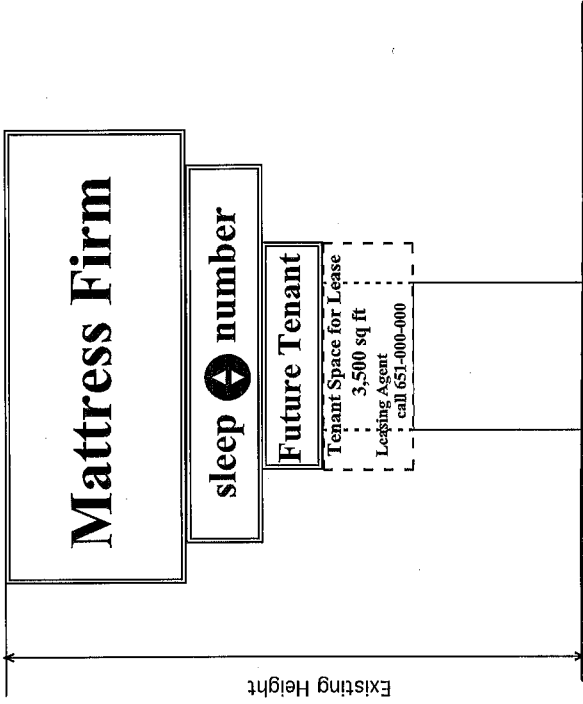
*Respectfully,*

***CITY of ROSEVILLE***



*Thomas Paschke*  
*City Planner*





Double faced signs

Existing Mattress Firm Sign 5'-0" x 15'-0"	75 Sq Ft
Sleep Number Sign with logo 2'-6" x 12'-0"	30 Sq Ft
Future Tenant Sign 2'-0" x 7'-6"	15 Sq Ft
<b>Total</b>	<b>120 Sq Ft</b>
Temporary leasing sign 3'-0" high and 7'-6" wide	22.5 Sq Ft

6/5/12

Pylon and Temporary Leasing Signs

**Flame Development**  
1723 County Road B, Roseville MN 5513  
**Prime General Contractors**  
1001 East Cliff Road, Ste 302, Burnsville, MN 55337 952-746-3637

© Perry Bolin Architecture PLLC Perry R. Bolin, Architect, NCARB, LEED AP  
5009 Quail Ave. N., Minneapolis, MN 55429 perryb@usfamily.net 651-208-1798

1d



**COMMUNITY DEVELOPMENT**  
 2660 Civic Center Drive ❖ Roseville, MN 55113  
 Phone: (651) 792-7005 ❖ Fax: (651) 792-7070

**MASTER SIGN PLAN APPLICATION**

CITY CODE SECTION 1010.03  
 www.ci.roseville.mn.us

- RESIDENTIAL APPLICATION FEE: \$250
- COMMERCIAL APPLICATION FEE: \$350

*Fee should be made payable to City of Roseville upon submittal of application.*

Please complete the application by typing or printing in ink. Use additional paper if necessary.

**1. Property Owner Information:** Flame Development Company, LLP

Last name: Abramovitz First name: Mark  
 Address: 1660 South Highway 100, Ste. 532 City/State/Zip: St. Louis Park, MN 55416  
 Phone number: (952) 893-0729 Email address: brimar1036@yahoo.com

**2. Applicant Information:** *(if different from above)*

Company name: Perry Bolin Architecture, PLLC  
 Last name: Bolin First name: Perry  
 Address: 5009 Quail Avenue North City/State/Zip: Minneapolis, MN 55429  
 Phone number: (651) 208-1798 Email address: perryb@usfamily.net

**3. Address of Property Involved:** *(if different from above)*

1723 County Road B2 West, Roseville, MN 55113

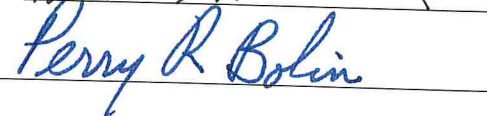
**4. Additional Required Information:**

- a. **Site plan** illustrating on-site improvements and location of proposed signage
- b. **Sign details** including sign dimensions, area calculations, and construction specifications for each sign being contemplated, as well as elevations showing wall signs and/or freestanding signs as appropriate

**5. Signature(s):** By signing below, you attest that the information above and attached is true and correct to the best of your knowledge.

Property Owner: 

Date: 04/04/2012

Applicant: 

Date: 04/04/2012



**Perry Bolin Architecture, PLLC**

Perry R. Bolin, AIA, NCARB, LEED AP  
[www.perrybolinarchitecture.com](http://www.perrybolinarchitecture.com)

5009 Quail Ave. N.  
Minneapolis, MN 55429

(651) 208-1798  
[perryb@usfamily.net](mailto:perryb@usfamily.net)

PROGRAMS



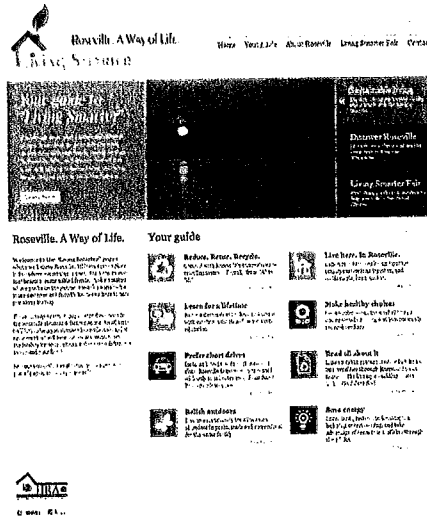
ROSEVILLE. A WAY OF LIFE.

LIVING SMARTER

## Connect for a Lifetime of Healthy Living. Here in Roseville.

Welcome to the "Living Smarter" campaign—where we believe Roseville is not just a place to live, it is community that boasts a 'sustainable lifestyle.' And no matter where you're on the journey toward a sustainable, more environment-friendly life, we're here to help you along the way.

The "Living Smarter" campaign has been developed by the Roseville Housing & Redevelopment Authority (RHRA) to provide current residents, as well as those looking to move into the community, with resources that not only help protect our environment, but also to save money in the process.



The all-new, easy-to-use [www.LivingSmarter.org](http://www.LivingSmarter.org) features resources that help you save money, connect with the healthy lifestyle options, and create a difference to you and your family. Feel free to set this as your browser's home page, or bookmark "Living Smarter," and check back frequently for the latest tips and features.

### Your Guide features:

- » Reduce. Reuse. Recycle.
- » Live here. In Roseville.
- » Learn for a lifetime
- » Make healthy choices
- » Prefer short drives
- » Read all about it
- » Relish outdoors
- » Save energy

Making smarter choices about transportation doesn't necessarily mean buying a new, more fuel efficient car—it simply means learning how to drive less. Making home energy efficient doesn't necessarily mean costly renovations—it means incorporating best practices in landscaping, building or remodeling, and taking advantage of programs and resources available to you and your family through the community. Living healthy doesn't mean expensive specialty foods—it means being smarter about the kind of things you're already buying and looking for locally sourced produce. These changes may seem big and small, but 'Living Smarter' begins wherever you're right now.

So pour yourself a cup of coffee, grab a pen and a pad of paper and let's get started!

Access the "Living Smarter" resources at [www.LivingSmarter.org](http://www.LivingSmarter.org)

**Contact**

651.792.7015

[hra@ci.roseville.mn.us](mailto:hra@ci.roseville.mn.us)

**Location**

Roseville Housing and Redevelopment Authority  
 2660 Civic Center Drive  
 Roseville, MN 55113  
[www.cityofroseville.com/hra](http://www.cityofroseville.com/hra)



For more information about the Living Smarter campaign, please visit [www.LivingSmarter.org](http://www.LivingSmarter.org) or contact 651.792.7015, or email [info@livingsmarter.org](mailto:info@livingsmarter.org).



City of Roseville  
651-792-7000

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Receipt No. 00278702

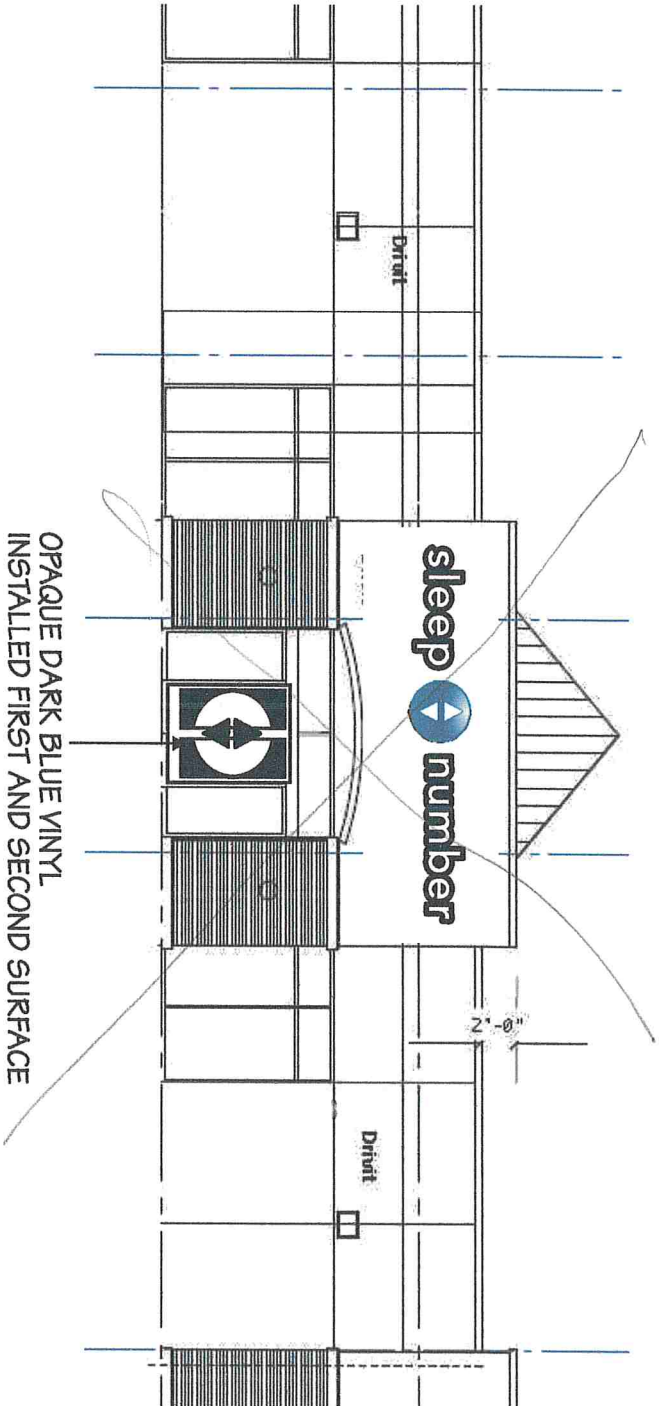
signplan  
Master Sign Pl  
an 350.00

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Receipt Total 350.00

Cash 0.00  
Check 350.00 Check #3227  
Charge 0.00

FLAME DEVELOPMENT

Cashier: jill.hughes  
Station: RVFIN701



THESE SIGNS ARE 1.5 SQUARE FEET PER LINEAR FOOT. THIS HAS A MORE LIKELY CHANCE OF BEING APPROVED THAN PAGE 1  
 BUT WE WILL NOT KNOW FOR SURE UNTIL THE CITY REVIEWS THE LANDLORDS MASTER SIGN PLAN.

SEE PAGE 10  
 FOR SPECS

**UNIVERSAL**  
*Signs* INC.

1033 THOMAS AVE  
 ST. PAUL, MN 55104  
 ph 651-645-0223  
 fax 651-645-2531  
 www.universalsignsinc.com

LOCATION  
 SLEEP NUMBER  
 1723 COUNTY RD B2  
 ROSEVILLE, MN

PAGE 5

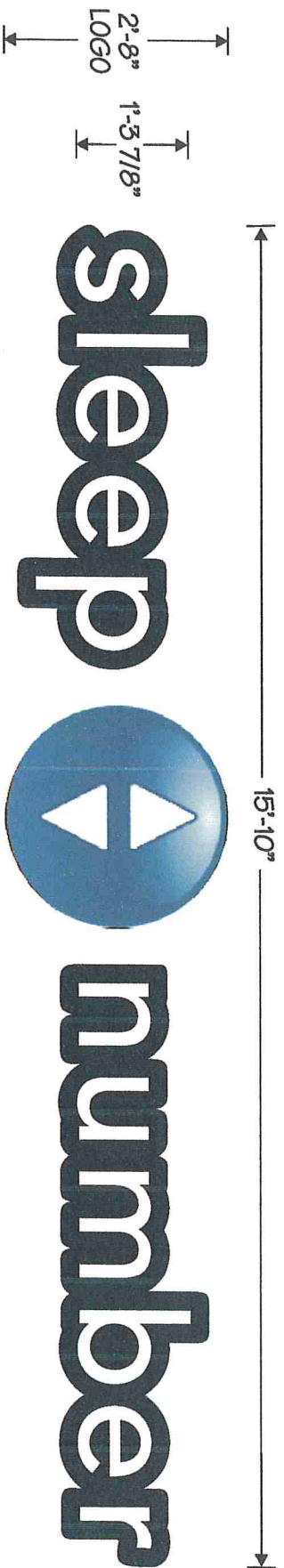
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 SEP  
 DATE  
 2/22/12

REVISED  
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 3/32" = 1'-0"

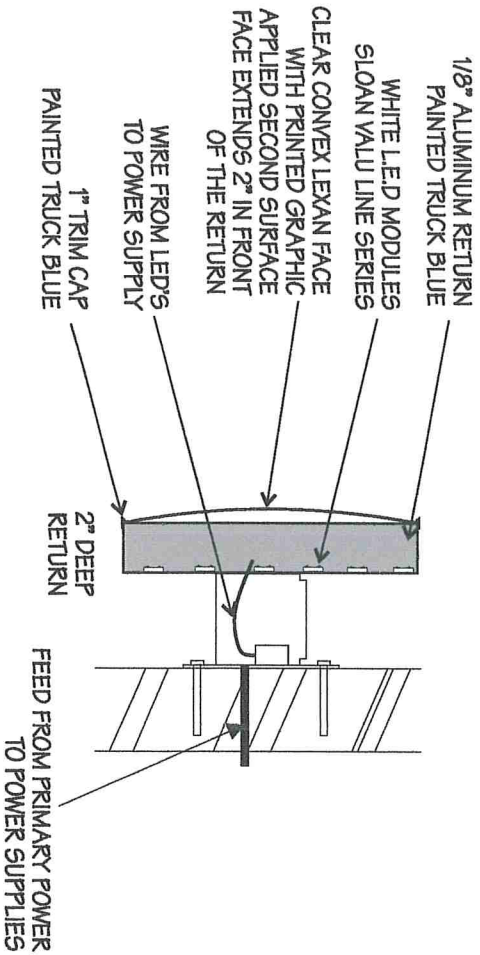
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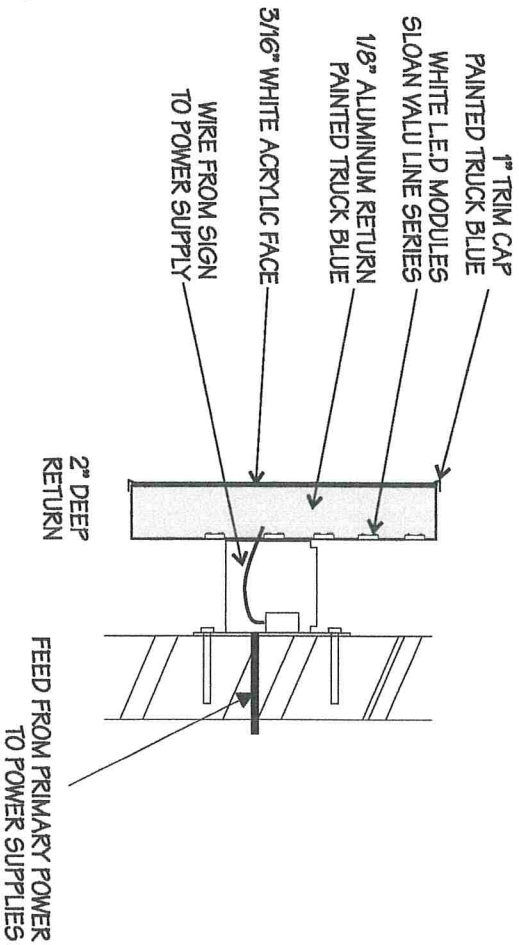
Main body of the document containing several paragraphs of text. The text is extremely faint and largely illegible due to low contrast and scan quality. It appears to be a standard prose document with multiple lines of text.



STORE FRONT SIGN 42 SQUARE FEET  
1/2" = 1'-0"



SECTION THROUGH LOGO  
NO SCALE



SECTION THROUGH LETTER  
NO SCALE

DRAWN BY	REVISED
SEP	
DATE	SCALE
2/22/12	NOTED



[The page contains extremely faint and illegible text, likely bleed-through from the reverse side. The text is arranged in several vertical columns across the page.]



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LOCATION

SLEEP NUMBER  
1725 COUNTY RD B2  
ROSEVILLE, MN

PAGE 7

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SEP

REVISED

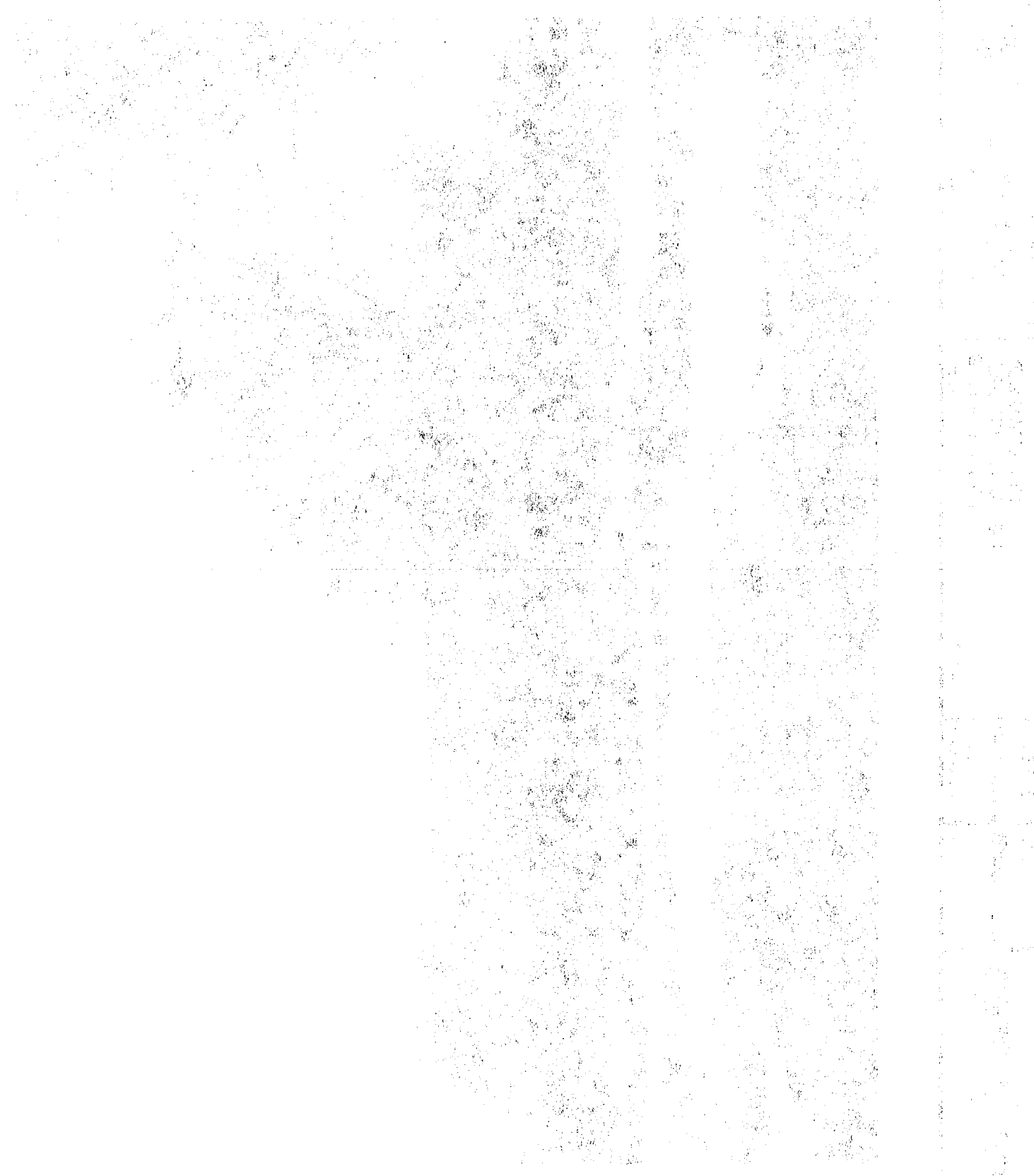
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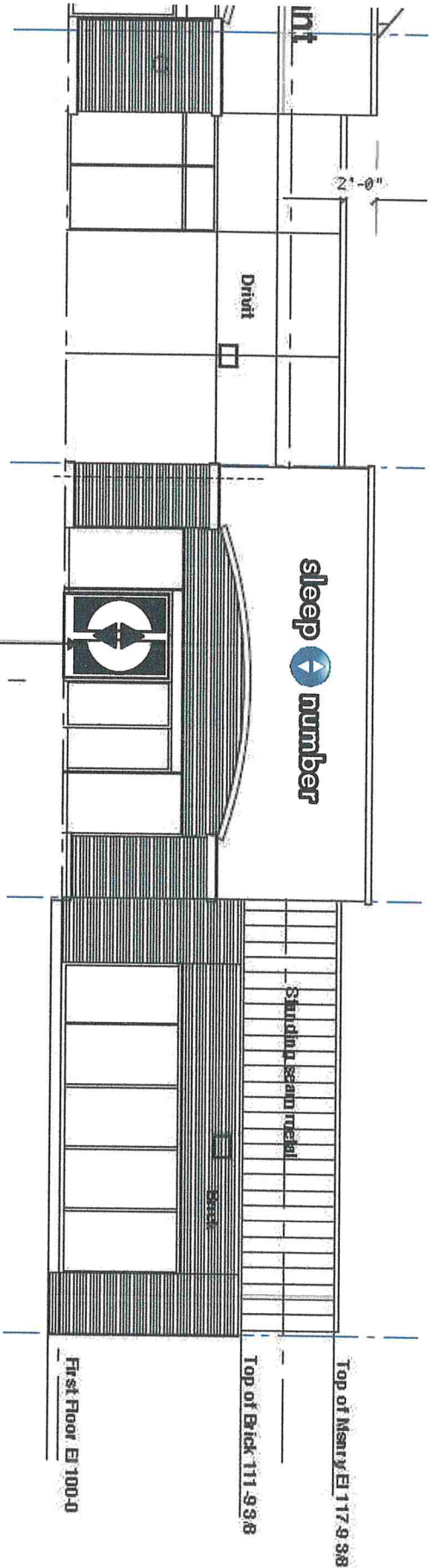
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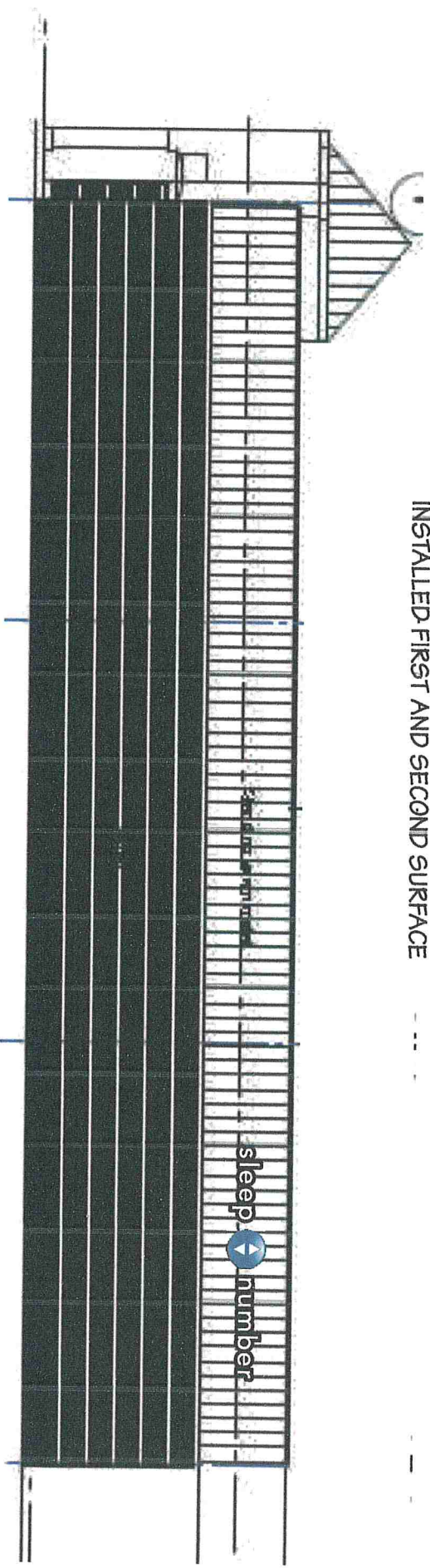
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sleep  number





SOUTH ELEVATION  
 OPaque DARK BLUE VINYL  
 INSTALLED FIRST AND SECOND SURFACE



EAST ELEVATION

THESE SIGNS ARE 1.5 SQUARE FEET PER LINEAR FOOT. THIS HAS A MORE LIKELY CHANCE OF BEING APPROVED THAN PAGE 1  
 BUT WE WILL NOT KNOW FOR SURE UNTIL THE CITY REVIEWS THE LANDLORDS MASTER SIGN PLAN.

SEE PAGE 4  
 FOR SPECS

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LOCATION  
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 1723 COUNTY RD B2  
 ROSEVILLE, MN

PAGE 5

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 SEP  
 DATE  
 2/22/12

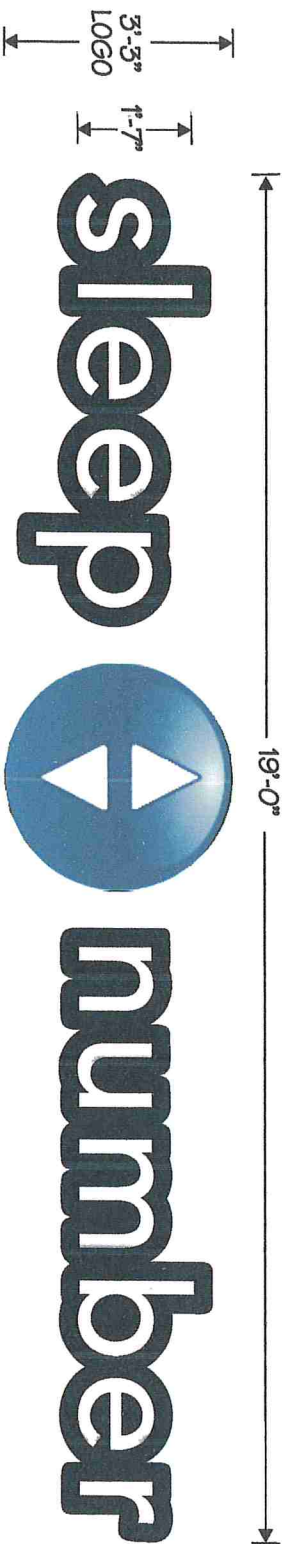
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 SCALE  
 3/32" = 1'-0"

**sleep**  **number**

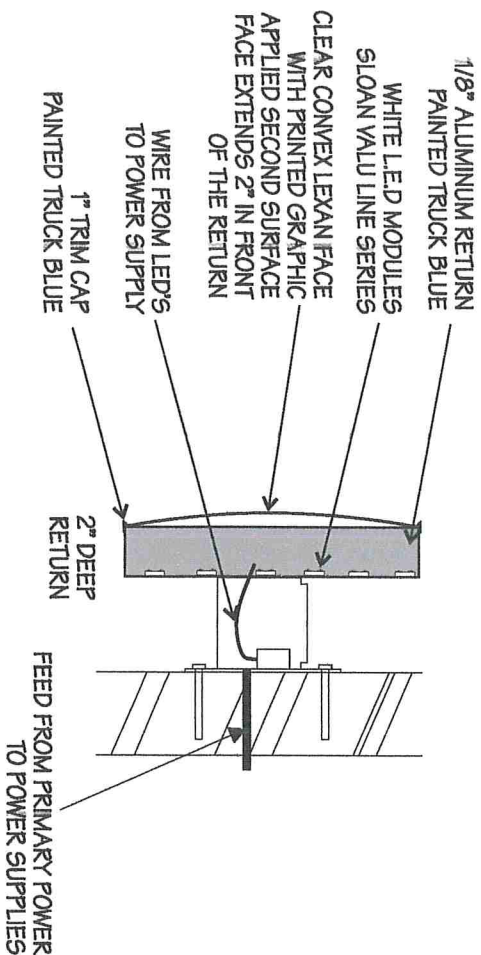




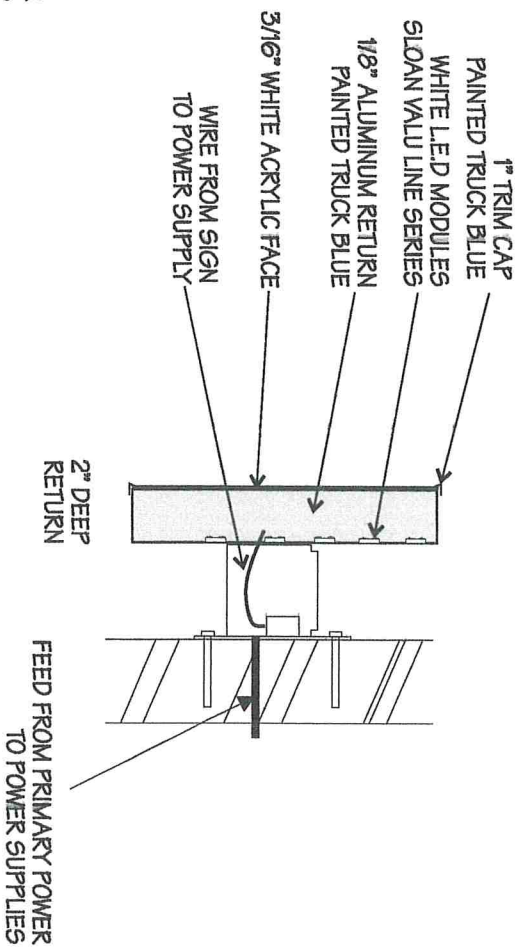
The page contains several columns of text that are extremely faint and illegible due to the quality of the scan. The text appears to be organized into a structured format, possibly a list or a series of entries, but the individual characters and words cannot be discerned.



STORE FRONT SIGN 61.75 SQUARE FEET  
 3/8" = 1'-0"



SECTION THROUGH LOGO  
 NO SCALE



SECTION THROUGH LETTER  
 NO SCALE



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LOCATION  
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 ROSEVILLE, MN

PAGE 4

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DATE	SCALE
2/22/12	NOTED





1. The first part of the document discusses the importance of maintaining accurate records of all transactions. This is essential for ensuring the integrity of the financial statements and for providing a clear audit trail.

2. The second part of the document outlines the various methods used to collect and analyze data. These methods include direct observation, interviews, and the use of statistical models.

3. The third part of the document describes the results of the study. The data shows a clear correlation between the variables being studied, and the findings are consistent with the theoretical framework.

4. The fourth part of the document discusses the implications of the findings. These findings have important implications for the field of study and for the development of future research.

5. The fifth part of the document provides a conclusion and a list of references. The conclusion summarizes the main findings of the study, and the references list the sources used in the research.

6. The sixth part of the document discusses the limitations of the study. While the study provides valuable insights, there are several limitations that should be noted, including the sample size and the scope of the research.

7. The seventh part of the document outlines the future research agenda. This includes identifying areas where further research is needed and suggesting specific research questions.

8. The eighth part of the document provides a detailed analysis of the data. This includes the use of statistical tests to determine the significance of the results and the interpretation of the findings.

9. The ninth part of the document discusses the practical applications of the findings. These findings can be used to inform policy decisions and to improve the effectiveness of the programs being studied.

10. The tenth part of the document provides a final summary of the study. This includes a restatement of the research objectives, a summary of the findings, and a final conclusion.



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ROSEVILLE, MN

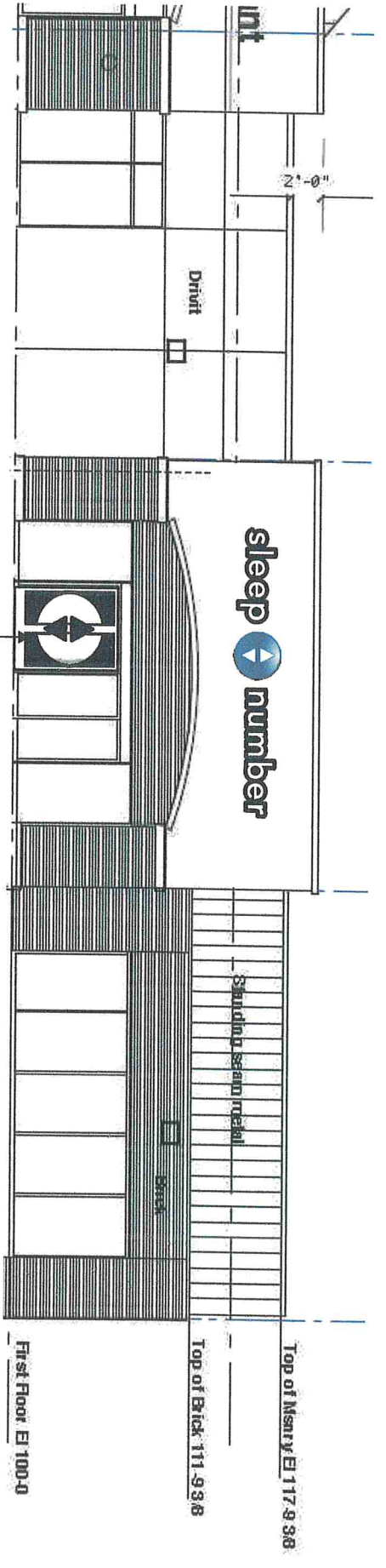
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2/22/12

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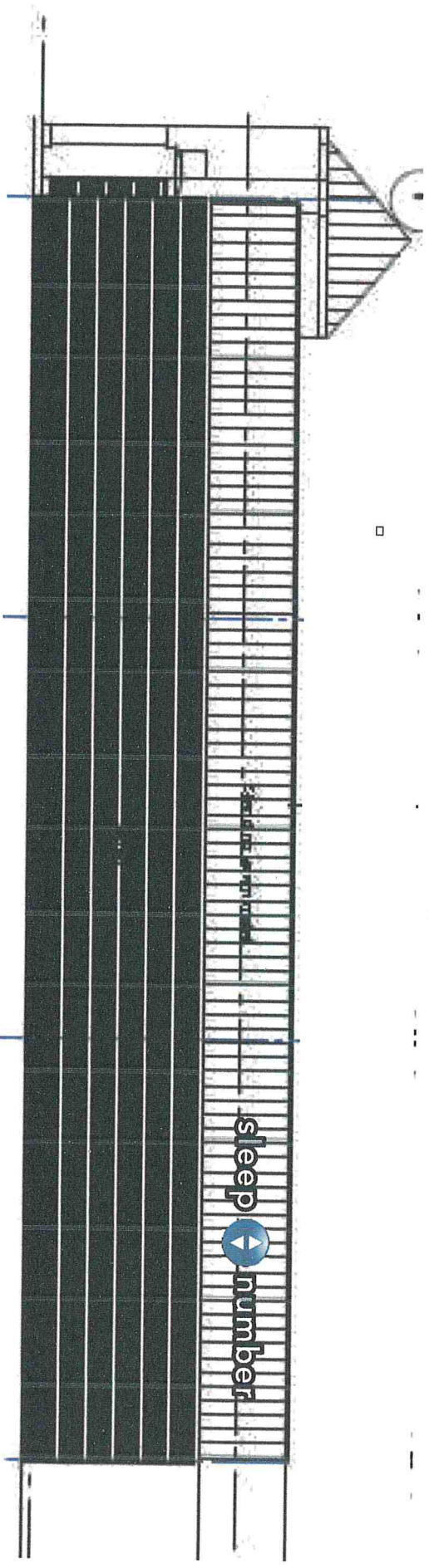
sleep  number





OPAQUE DARK BLUE VINYL  
INSTALLED FIRST AND SECOND SURFACE

SOUTH ELEVATION



EAST ELEVATION

THIS IS WHAT THE LANDLORD IS PROPOSING IN THEIR MASTER SIGN PLAN 2.5 SQUARE FEET PER LINEAR FOOT.  
IT IS NOT LIKELY TO PASS BUT IF IT DOES THIS WOULD BE THE MAXIMUM ALLOWED SIGNAGE PER THE LL

SEE PAGE 4  
FOR SPECS

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*Signs INC.*

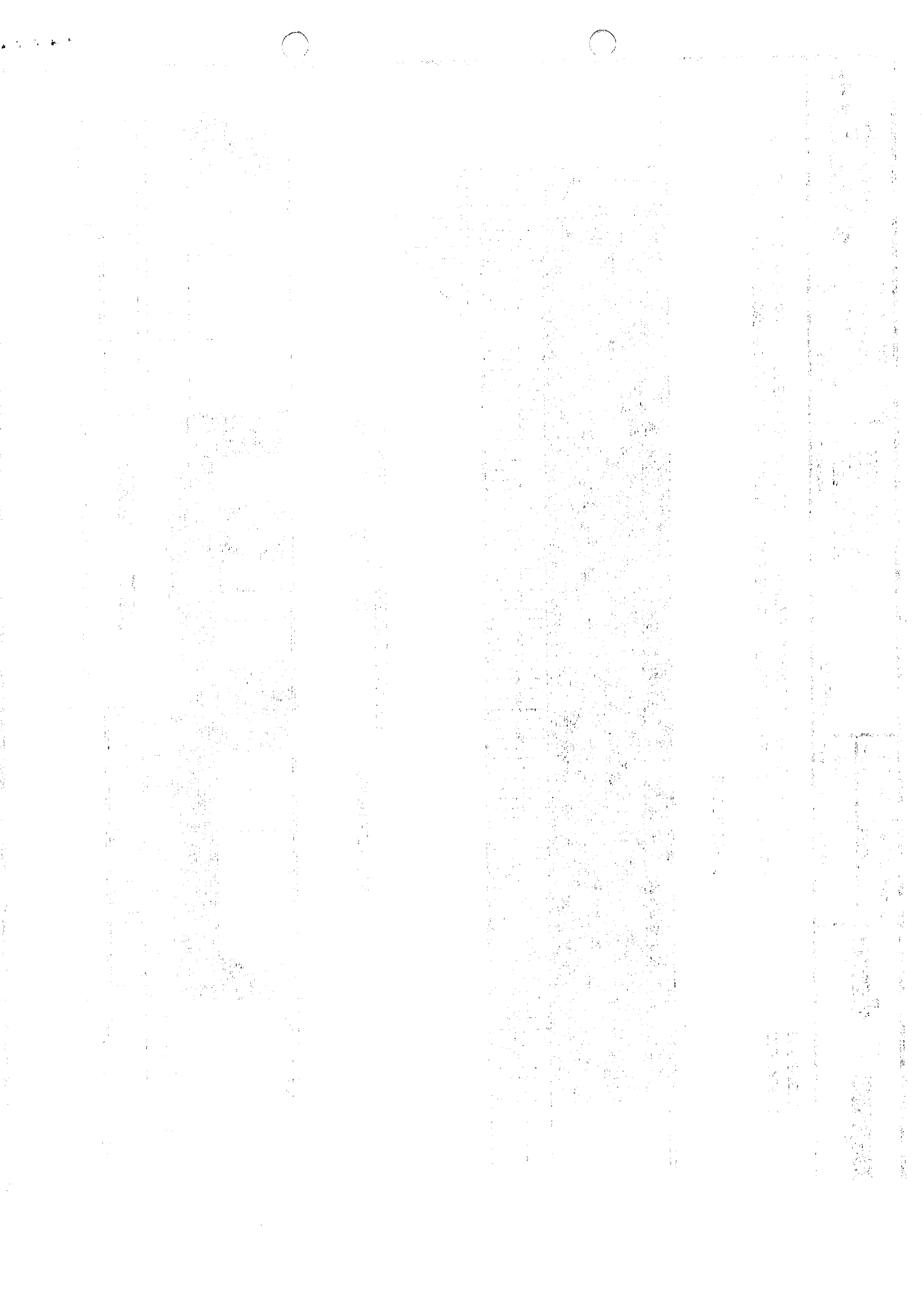
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LOCATION  
SLEEP NUMBER  
1723 COUNTY RD B2  
ROSEVILLE, MN

PAGE 1

DRAWN BY SEP	REVISED
DATE 2/22/12	SCALE 3/32" = 1'-0"

**sleep**  **number**



<b>Sign A</b>	Sign: 33" Matress Firm
Sign Type:	Channel Letters on a Raceway w/ Backer Panel
Illumination:	Internally Illuminated LED
Square Footage:	87.09
To Grade:	Top of Sign To Grade = 24'-11 1/2" Bottom of Sign To Grade = 21'-0 1/4"

<b>Sign B</b>	Sign: 27" Matress Firm
Sign Type:	Channel Letters on a Raceway w/ Backer Panel
Illumination:	Internally Illuminated LED
Square Footage:	58.33
To Grade:	Top of Sign To Grade = 16'-9 5/8" Bottom of Sign To Grade = 13'-7"

<b>Sign C</b>	Sign: Matress Firm SuperCenter
Sign Type:	Lexan panels with applied vinyl to be supplied by others
Actual Size:	TBD
Viewable Size:	TBD
Square Footage:	TBD

**NOTE: DRAWING IS FOR REPRESENTATIONAL PURPOSES ONLY. EXACT DIMENSIONS (FIELD SURVEY) REQUIRED PRIOR TO FABRICATION.**

<b>MATRESS FIRM</b>	Client: Matress Firm
	Site #: MF-A-15694
	Address: 1723 County Road B 2 West Roseville, MN 55113 Rosedale

REVISION INFO	
01/18/2012	Original Rendering
09/29/2012	Rework Elevation Renderings



BC

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**AnchorSign**

1.800.213.3331





<b>Sign A</b>	
Sign:	30" Mattress Firm linear
Sign Type:	Channel Letters on a Raceway w/ Backer Panel
Illumination:	Internally Illuminated LED
Square Footage:	92.00
To Grade:	Top of Sign To Grade = 17'-5 1/4" Bottom of Sign To Grade = 13'-11 1/4"



Existing



NOTE: DRAWING IS FOR REPRESENTATIONAL PURPOSES ONLY. EXACT DIMENSIONS (FIELD SURVEY) REQUIRED PRIOR TO FABRICATION.



Client: Mattress Firm  
 Site #: MF-A15694  
 Address: 1723 County Road B 2 West  
 Roseville, MN 55113  
 Rosedale

REVISION INFO	
01/18/2012	Original Rendering
03/29/2012	Redraw Elevation Renderings

BC	BC

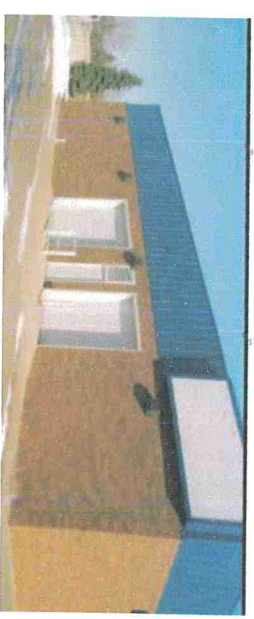
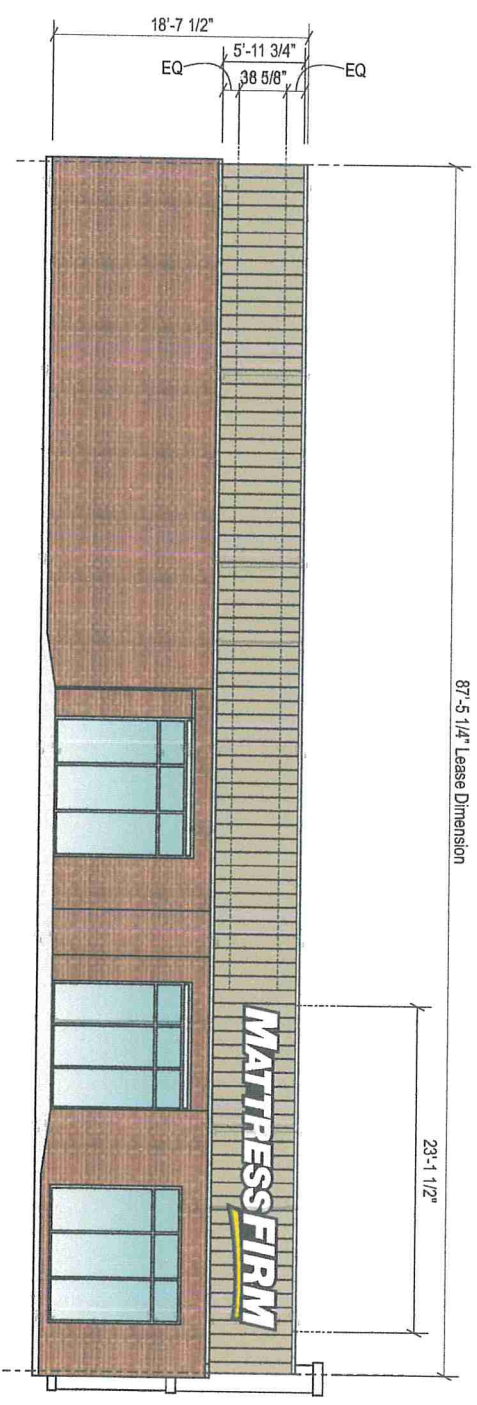
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- Jefferson House A1810
- Hale Village A1827

Allowable Square Footage this Elevation: 142.50  
 Formula: Allowed 1.5 square feet per linear foot of store front for entire building 1.5 x 95 = 142.50  
 Actual Square Footage this Elevation: 92.00

<b>Sign B</b>	Sign: 27" Mattress Firm
Sign Type:	Channel Letters on a Raceway w/ Backer Panel
Illumination:	Internally Illuminated LED
Square Footage:	58.33
To Grade:	Top of Sign To Grade = 16'-9 5/8" Bottom of Sign To Grade = 13'-7"



NOTE: DRAWING IS FOR REPRESENTATIONAL PURPOSES ONLY. EXACT DIMENSIONS (FIELD SURVEY) REQUIRED PRIOR TO FABRICATION.

**MATTRESS FIRM**

Client: Mattress Firm  
 Site #: MF-A15694  
 Address: 1723 Country Road B 2 West  
 Roseville, MN 55113  
 Rosedale

REVISION INFO	
01/18/2012	Original Rendering
03/29/2012	Revised Elevation Renderings

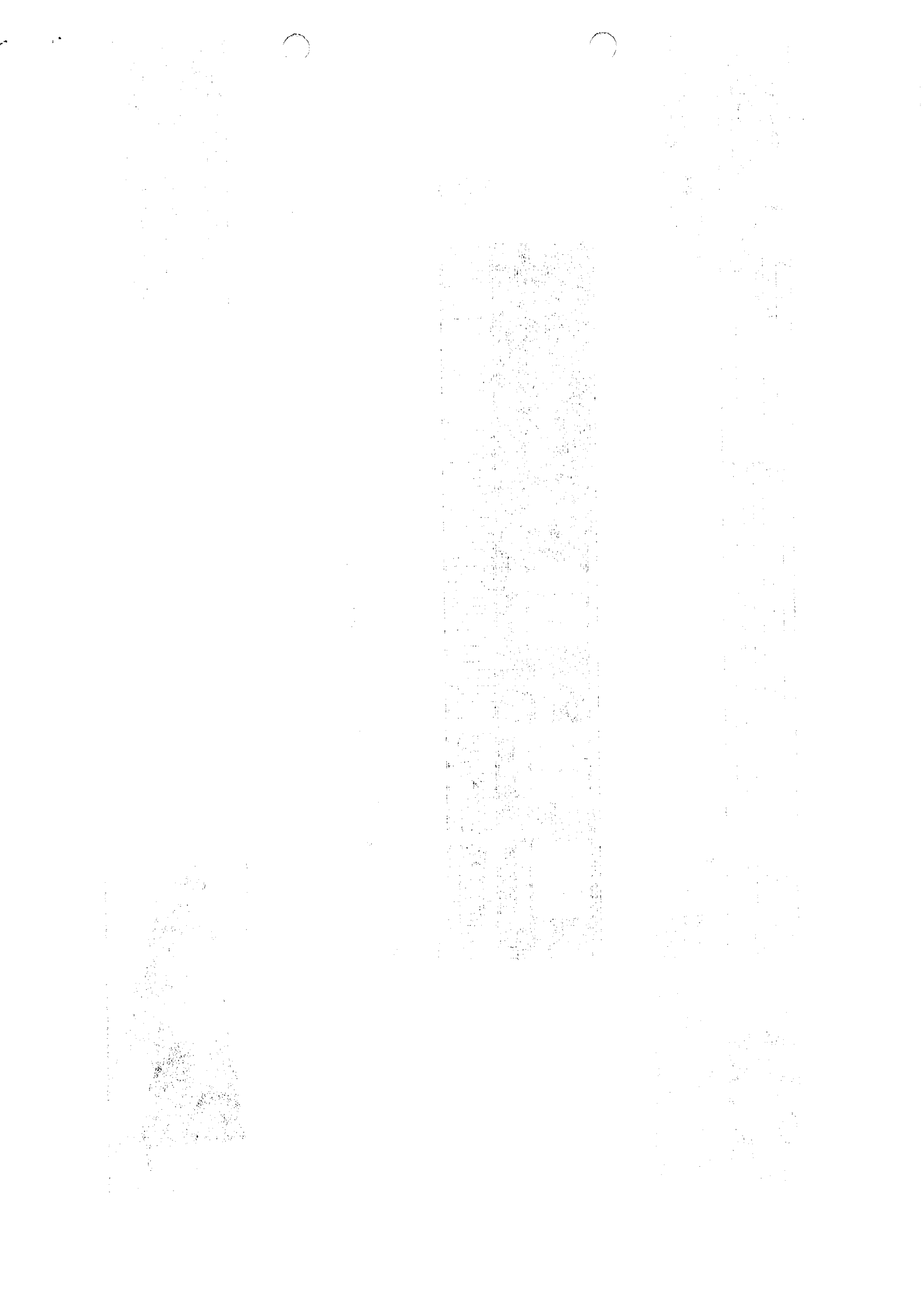
Jefferson House A1810

Hale Village A1827

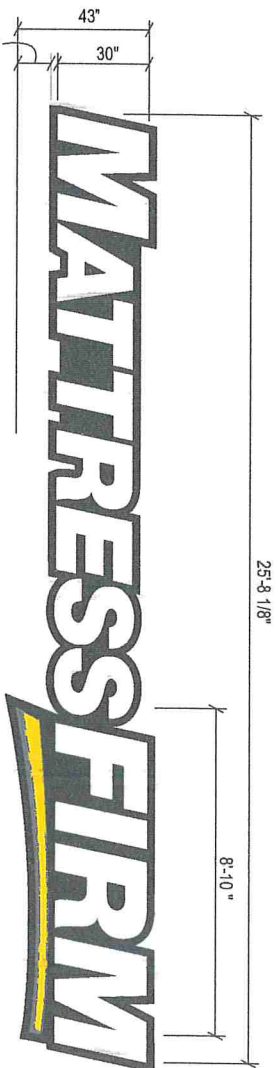
Allowable Square Footage this Elevation: 142.50  
 Formula: Allowed 1.5 square feet per linear foot of store front for entire building 1.5 x 95 = 142.50  
 Actual Square Footage this Elevation: 58.33

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**AnchorSign**  
 1.800.213.3331



<b>Sign A</b>	Sign: 30" Mattress Firm linear
Sign Type:	Channel Letters on a Raceway w/ Backer Panel
Illumination:	Internally Illuminated LED
Square Footage:	92.00
To Grade:	Top of Sign To Grade = 17'-5 1/4" Bottom of Sign To Grade = 13'-11 1/4"



**Sign Layout Detail**  
Scale: 1/4" = 1'-0"

**Electrical Detail:**

- Aglight Tuffrayz White led's
- ( ) Xitanium transformers
- Total Amps:
- ( ) 20 amp 120V Circuit Req.

**General Notes:**

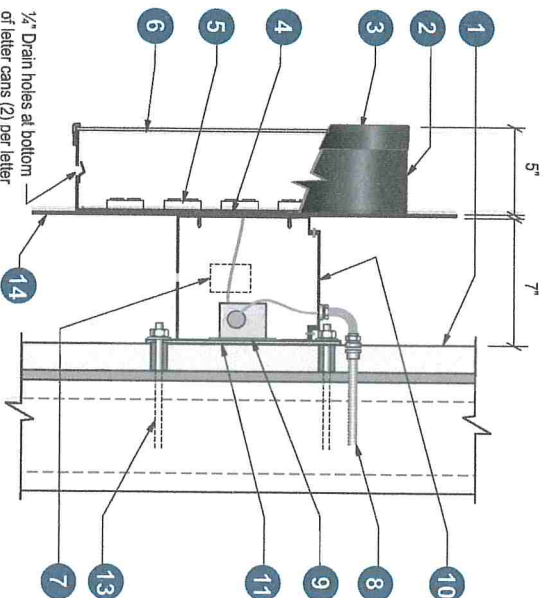
This sign is to be installed in accordance with the requirements of Article 600 of the National Electrical Code.

- 1) Grounded and bonded per NEC 600.7/NEC 250
- 2) Existing branch circuit in compliance with NEC 600.5, not to exceed 20 amps
- 3) Sign is to be UL listed per NEC 600.3
  - \*UL disconnect switch per NEC 600.6- required per sign component before leaving manufacturer\*
  - \*For multiple signs, a disconnect is permitted but not required for each section

NOTE: DRAWING IS FOR REPRESENTATIONAL PURPOSES ONLY. EXACT DIMENSIONS (FIELD SURVEY) REQUIRED PRIOR TO FABRICATION.

**Specifications: Channel Letters/ Backer panel/ Raceway**

1. Existing Facade: TBD
2. 0.040" Aluminum letter returns painted to match black
3. 0.125" x 1" trim cap to match black
4. 3mm Signabond Lite composite backs (interior of sign can painted ultra white for maximum illumination)
5. White LED's
6. 3/16" acrylic faces:
  - R&H #7328 White acrylic for letters
  - R&H #2016 Yellow for "Swoosh" w/
  - 3m #7725-12 Gloss Black vinyl 'drop shadow' on swoosh
7. Waterproof disconnect switch per NEC 600-6
8. Primary electrical feed
9. Transformers
10. 0.080" Aluminum raceway painted to match the facade
11. 15" x 2" x 0.1875" Aluminum mounting tabs welded to raceway
  - Maximum 6" from each end and every 48" o.c.
12. #12 x 1" TEC screws with 11/4" fender washers
13. Mounting hardware to suit
14. 0.080" Backer panel painted to match black



**Section @ LED Channel Letter**  
Backer Panel / Raceway Scale: N.T.S.



Client: Mattress Firm  
Site #: MF-A15694  
Address: 1723 County Road B 2 West  
Roseville, MN 55113  
Roseville

REVISION INFO	
01/18/2012	Original Rendering
03/29/2012	Rework Elevation Renderings

This rendering is the property of Anchor Sign, Inc. It is for the exclusive use of the client and is not to be reproduced, distributed, replicated or exhibited in any form without the written consent of Anchor Sign, Inc. Please contact your account manager with questions regarding this statement.



11/11/11

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11/11/11

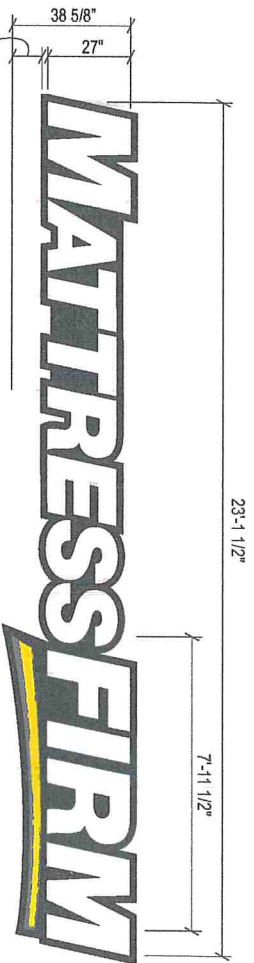
11/11/11

11/11/11

11/11/11

11/11/11

Sign B	27" Mattress Firm
Sign Type:	Channel Letters on a Raceway w/ Backer Panel
Illumination:	Internally Illuminated LED
Square Footage:	58.33
To Grade:	Top of Sign To Grade = 16'-9.5/8" Bottom of Sign To Grade = 13'-7"



**Sign Layout Detail**  
Scale: 1/4" = 1'-0"

**Electrical Detail:**

- Agilight Tuffrayz White led's
- ( ) Xitanium transformers
- Total Amps:
- ( ) 20 amp 120V Circuit Req.

**General Notes:**

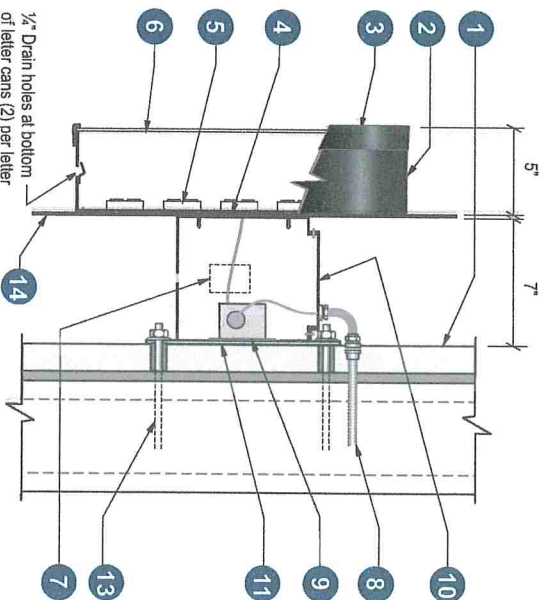
This sign is to be installed in accordance with the requirements of Article 600 of the National Electrical Code.

- 1) Grounded and bonded per NEC 600.7/NEC 250
- 2) Existing branch circuit in compliance with NEC 600.5, not to exceed 20 amps
- 3) Sign is to be UL listed per NEC 600.3
- 4) UL disconnect switch per NEC 600.6- required per sign component before leaving manufacturer\*

For multiple signs, a disconnect is permitted but not required for each section

**Specifications: Channel Letters/ Backer panel/ Raceway**

1. Existing Facade: TBD
2. 0.040" Aluminum letter returns painted to match black
3. 0.125" x 1" trim cap to match black
4. 3mm Signabond Lite composite backs (interior of sign can painted ultra white for maximum illumination)
5. White LED's
6. 3/16" acrylic faces:
  - R&H #7328 White acrylic for letters
  - R&H #2016 Yellow for "Swoosh" w/
  - 3m #7725-12 Gloss Black vinyl 'drop shadow' on swoosh
7. Waterproof disconnect switch per NEC 600-6
8. Primary electrical feed
9. Transformers
10. 0.080" Aluminum raceway painted to match the facade
11. 1.5" x 2" x 0.1875" Aluminum mounting tabs welded to raceway
  - Maximum 6" from each end and every 48" o.c.
12. #12 x 1" TEC screws with 11/4" fender washers
13. Mounting hardware to suit
14. 0.080" Backer panel painted to match black



**Section @ LED Channel Letter Backer Panel / Raceway**  
Scale: N.T.S.

NOTE: DRAWING IS FOR REPRESENTATIONAL PURPOSES ONLY. EXACT DIMENSIONS (FIELD SURVEY) REQUIRED PRIOR TO FABRICATION.

Client: Mattress Firm  
Site #: MF-A15694  
Address: 1723 County Road B 2 West  
Roseville, MN 55113  
Rosedale

REVISION INFO	
03/29/2012	Original Rendering
	Reward Elevation Renderings

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**AnchorSign**  
1.800.213.3331

Sign C	
Sign:	Mattress Firm SuperCenter
Sign Type:	Lexan panels with applied vinyl to be supplied by others
Actual Size:	TBD
Viewable Size:	TBD
Square Footage:	TBD



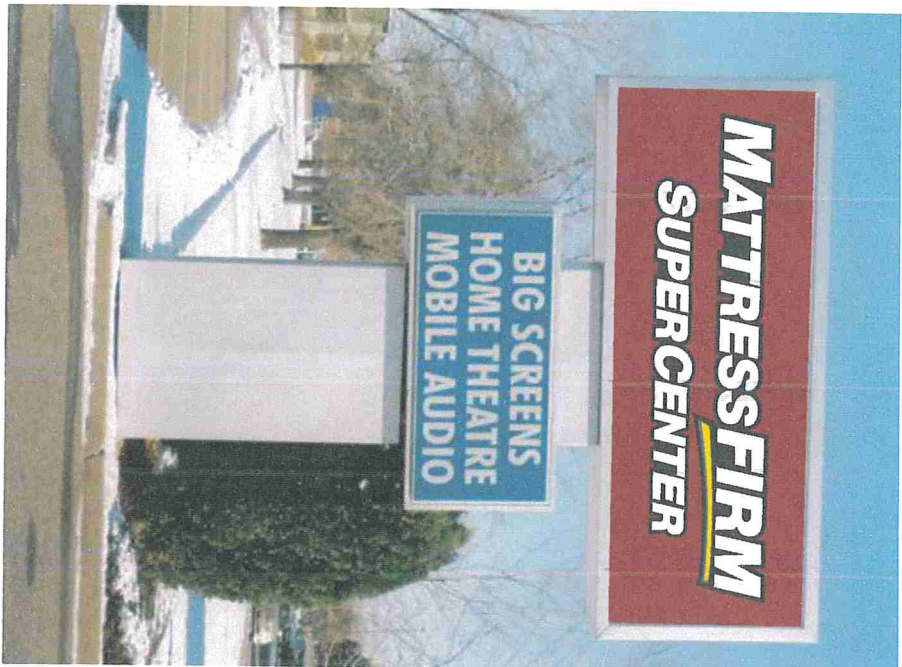
**Applied Vinyl to Existing Panel**  
Qty: 2 (1 Set) N.T.S.

NOTE: DRAWING IS FOR REPRESENTATIONAL PURPOSES ONLY. EXACT DIMENSIONS (FIELD SURVEY) REQUIRED PRIOR TO FABRICATION.

	Client:	Mattress Firm
	Site #:	MF-A15694
	Address:	1723 Country Road B 2 West Roseville, MN 55113
		Rosedale

**REVISION INFO**

Date	Description	By
01/18/2012	Original Rendering	BC
03/29/2012	Redraw Elevation Renderings	BC



**Pylon Elevation**  
N.T.S.



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# Perry Bolin Architecture, PLLC

Perry Bolin, AIA, NCARB, LEED AP

## Memorandum

**Date:** 02/16/2012 Revised 04/04/12  
**By:** Perry Bolin (PBA)  
**To:** Mark Abramovitz  
**Project:** 1723 County Road B, Roseville  
**Subject:** Master Sign Plan Calculation - Mattress Firm, Select Comfort, & TBD

Master Sign Plan required by the City of Roseville                      Thomas Pashke 651-792-7005

The MAXIMUM allowable area of wall signs is  $1.5 \text{ sf} \times 1.5 = \text{up to } 2.25 \text{ sf}$  per front foot of the building for each tenant. Total allowable for all sides of the building. Total Wall Sign area  $2.25 \times 196 \text{ LF} = 441 \text{ sf}$  maximum allowable.

### Wall Signs

Mattress Firm	99 lf x 2.25 = 222 SF of total wall sign area allowable
Proposed	A 92 SF + B 58.33 = 150.33 SF
Sleep Express	56 lf x 2.25 = 125 sf of total wall sign area allowable
Proposed	S 61.75 + E 42 = 103.75
To be determined	41 lf x 2.25 = 92 sf of total wall sign area allowable
Proposed	S 54 + N 32 = 86 SF
Total Wall Sign area	= 441 sf MAXIMUM
Proposed	150.33 + 103.75 + 86 = 340 SF = 77% of allowable

### Freestanding Signs

Up to 150 SF for 3 tenants, maximum height 25 ft  
 Existing sign is  $5 \times 15' = 75 \text{ SF} + 32 \text{ sf} = 107 \text{ SF} +/-$ , 20height +/-

Proposed Mattress Firm Sign C Freestanding Existing upper sign  $5 \times 15' = 75 \text{ SF}$   
 Proposed Select Comfort Freestanding lower sign =  $\frac{1}{2} \times 32 \text{ sf} = 16 \text{ SF}$   
 Proposed TBD Freestanding lower sign =  $\frac{1}{2} \times 32 \text{ sf} = 16 \text{ SF}$   
 Proposed Total  $107 +/- \text{ SF}$  ( Existing Sign Area) = 71.33% of allowable

## **Mattress Firm Sign Proposal**

Sign A South 25'8" ft long = 92 sf

Sign B West 23' 1 1/2" ft long = 58.33 sf

Sign C Freestanding Existing upper sign 5 x 15' = 75 SF

## **Select Comfort Sign Proposal**

56 lf x 2.25 = 125 sf of total wall sign area

Proposed South 61.75 SF

Proposed East 42 SF

Freestanding lower sign = 1/2 x 32 sf = 16 SF

## **Future Tenant Signs**

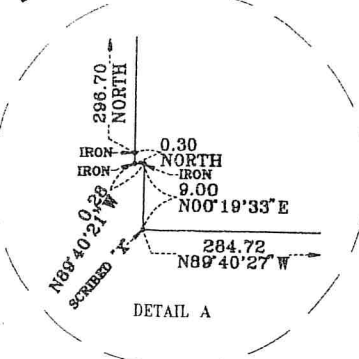
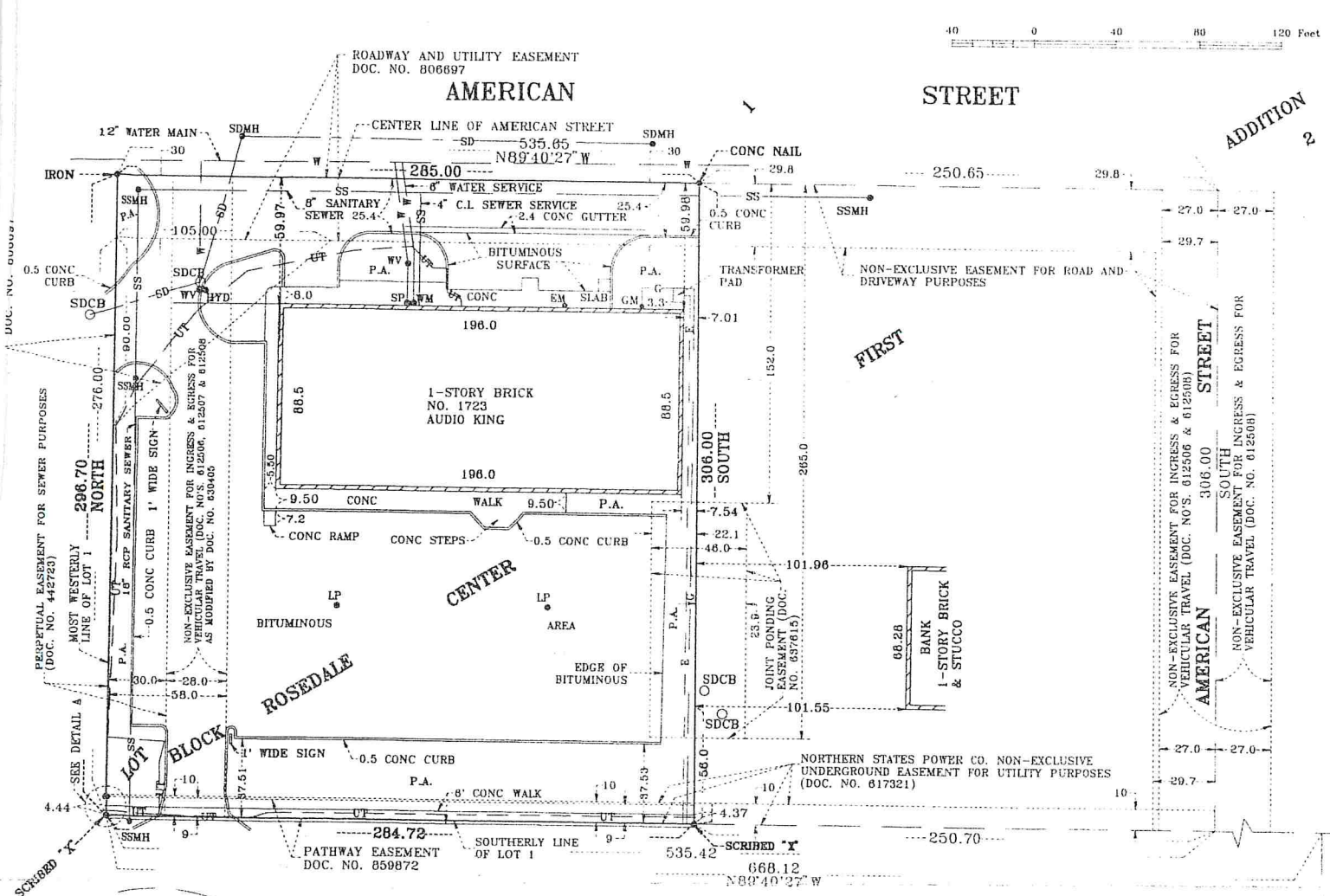
41 lf x 2.25 = 92 sf of total wall sign area

Proposed South 54 SF

Proposed North 32 SF

Freestanding Sign - 1/2 x 32 sf = 16 SF

# SURVEY FOR: FLAME DEVELOPMENT COMPANY



**NOTES:**

- 1) ALL BEARINGS SHOWN ARE BASED ON THE BEARINGS SHOWN ON THE PLAT OF ROSEDALE CENTER FIRST ADDITION.
- 2) ALL UTILITY INFORMATION SHOWN IS BASED UPON AVAILABLE INFORMATION.
- 3) MINNESOTA STATE STATUTE 216-D REQUIRES NOTIFICATION OF AN UNDERGROUND LOCATOR SYSTEM CALLED "GOPHER ONE-CALL" (812-454-0002) FOR UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
- 4) ALL EASEMENTS SHOWN ARE AS PER CERTIFICATE OF TITLE NO. 639522 DATED JULY 1, 1996

**LEGEND:**

- WV DENOTES PROPERTY CORNER.
- WM DENOTES WATER VALVE.
- WM DENOTES WATER METER.
- HYD DENOTES FIRE HYDRANT.
- GM DENOTES GAS METER.
- EM DENOTES ELECTRIC METER.
- LP DENOTES LIGHT POLE.
- SP DENOTES STAND PIPE.
- UT — DENOTES UNDERGROUND TELEPHONE LINE.
- SDCB DENOTES STORM CATCH BASIN.
- SDMH DENOTES STORM MANHOLE.
- SD — DENOTES STORM SEWER.
- SSMH DENOTES SANITARY SEWER MANHOLE.
- SS — DENOTES SANITARY SEWER.
- E — DENOTES ELECTRIC LINE.
- P.A. — DENOTES PLANTING AREA.
- ENC. — DENOTES ENCROACHMENT PROPERTY LINE.

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

*John Coultter*  
Date: 8/6/96 Reg. No. 13792

**Legal Description:**

All that part of Lot 1, Block 2, ROSEDALE CENTER FIRST ADDITION, lying westerly of a line drawn parallel with and 285.00 feet easterly of, as measured at right angles to, the most westerly line of said Lot 1 and lying southerly of a line drawn parallel with and 306.00 feet northerly of, as measured at right angles to, that portion of the southerly line of said Lot 1 which has a bearing of S 89 degrees 40 minutes 27 seconds E and a distance of 668.12 feet on the recorded plat of said ROSEDALE CENTER FIRST ADDITION.

Subject to and together with easements for joints ponding as shown as shown in Document No. 637615.

Subject to a Easement for Roadway and Utilities as described in Document No. 806697.

Together with a non-exclusive easement for road and driveway purposes over the East 29.7 feet and the North 29.8 feet of that part of said Lot 1 as described in Documents No's 612506 & 612508.

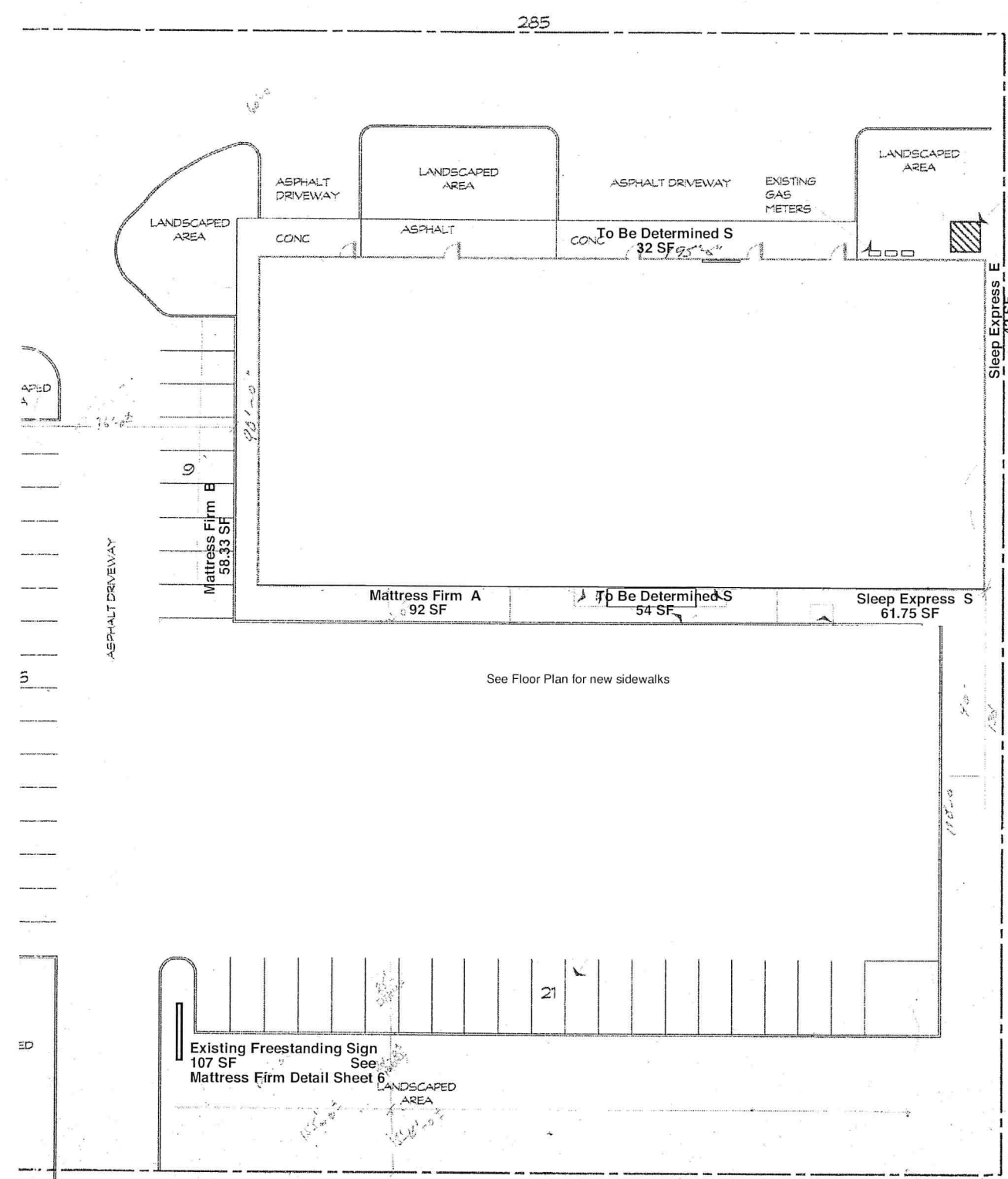
Subject to and together with easements and restrictions of record.

I hereby certify that this survey is made in accordance with the "Minimum Standard Detail Requirements" for ALTA/ACSM Land Title Survey jointly established and adopted by the ALTA/ACSM in 1992 and meets the accuracy requirements for an urban survey as defined therein.

NOTE: THIS SURVEY CERTIFICATE IS NOT VALID WITHOUT AN ORIGINAL SIGNATURE AND A RAISED SEAL.

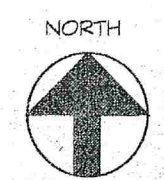
COPYRIGHT © 1996. C.E. COULTER & ASSOCIATES, INC.

DATE: 8/6/96	C. E. COULTER & ASSOCIATES, INC.	SCALE: 1" = 40'
REVISIONS:		JOB NO. 11,583
	PROFESSIONAL REGISTERED SURVEYORS	BLK./PG. 960/72
	REG. IN MINN., WISC. & IOWA	FILE NO. 3 8 32C
	P.O. BOX 8000	
	MINNEAPOLIS, MINN 55414-8000	
	TELEPHONE 519-824-3270	
	FAX 612-953-3274	
		SHEET 1 OF 1



PLAN

7-CF



<b>Perry Bolin Architecture PLLC</b> 5009 Quail N. Mpls, MN 55429 P: 612.208.1788 F: 612.729.8351 © 2012 E: perryb@usfamily.net	
Owner: <b>FLAME DEVELOPMENT COMPANY</b> 1660 South Hwy 100 St. Louis Park, MN 55416 952-893-0729	03/16/12 Permit Set
<b>Exterior Renovator &amp; Tenant Demising Walls for Mattress Firm &amp; Select Comfort</b> 1723 County Road B2 St. Paul, MN 55113	<b>SHEET 1</b>



Community Development Department  
651-792-7074 ♦ fax: 651-792-7070

**June 11, 2012**

Mr. Mark Abramovitz  
Flame Development Company  
1660 South Highway 100  
Suite 532  
St. Louis Park, MN 55416

Mr. Perry Bolin  
5009 Quail Avenue North  
Minneapolis, MN 55426

***Re: 1723 County Road B2 - Master Sign Plan Approval***

On May 10, 2012, the Roseville Master Sign Plan Committee held the administrative hearing to review and consider the Master Sign Plan 1723 County Road B2. No adjacent property owners or citizens were present to address the committee and the City Planner did not receive any calls, email, or letters concerning the proposal.

The MSP Committee has reviewed the proposal and approves the following as the MSP for 1723 County Road B2:

**WALL SIGN REQUIREMENTS**

- Advertising, flashing, pulsating, rotating light (or lights), rooftop, banners, mobile signs, and portable signs shall be prohibited, as well as other prohibited signs covered under Section 1010 of the Roseville City Code.
- Wall signs shall be limited to total of 392 square feet calculated as follows – 2 sq. ft. of signage for each lineal foot of building front times 196 lineal feet equals 392 total square feet of allowable building wall signage.
- Wall signs meeting the total square footage allowed, can be installed on all four sides of the building.
- Wall signs (including identity logos and/or symbols) shall be individual or channel letters that may be illuminated, have finished returns and/or be installed on raceways, and shall not exceed 36 inches in height.
- Letter returns and raceways may be painted, prefinished, or utilize exposed metal; and exposed metal shall be stainless steel, titanium, bronze, aluminum, or other non-corrosive material.
- Sign panels/cabinets may be used in place of individual or channel letters.

## Community Development Department

651-792-7074 ♦ fax: 651-792-7070

- Sign panels/cabinets may be used in place of individual or channel letters.
- Sign material shall be limited to metal and acrylic with UV inhibitors. All materials shall be made of high quality durable materials and finishes, and be of the highest quality fabrication.
- Window graphics/signs shall be limited to 25% of the window area.

### **FREESTANDING SIGN REQUIREMENTS**

- The site shall be allowed to refurbish the existing freestanding sign along County Road B2. The sign shall be limited to three sign panels totaling 120 sq. ft. and of the following dimensions - 5 feet by 15 feet or 75 sq. ft., 2-1/2 feet by 12 feet or 30 sq. ft., and 2 feet by 7-1/2 feet or 15 sq. ft. or a total of 120 sq. ft. for the sign. A 3 foot by 7-1/2 foot or 22.5 sq. ft. temporary leasing sign shall also be installed on the sign (see attached illustration)
- The existing freestanding sign shall also include an update metal panel which encases the pole.
- Should the property owner desire to replace the existing freestanding sign, the following requirements shall apply: the sign shall be allowed to be constructed 7 to 10 feet away from the easement/property line, be a maximum of 25 feet in height, and be of a monument style complete with a base of brick, block and/or stone. Signage shall be limited to 120 square feet equally distributed among the three tenants. Final plans for this sign to be reviewed and approved by the Planning Division
- Should the property owner desire a second freestanding sign adjacent to American Street, the following requirements shall apply: the sign shall have a minimum setback of 5 feet from the property line, be limited to a height of 8 feet, and including no greater than 60 sq. ft. of signage – three equal sized tenant spaces of 20 sq. ft. Final plans shall be reviewed and approved by the Planning Division.
- Leasing information shall be incorporated into one or both freestanding signs (such as contact name and number), which shall not count against the sign total. On option is a wall sign not exceeding 24 sq. ft. being placed on the building. No freestanding leasing sign are permitted on the premises.

### **OTHER REQUIREMENTS**

- Landlord//owner sign-off of any sign proposal shall accompany any sign permit and shall meet the requirements of the MSP.
- A sign permit is required for the installation of all signs on the premises.

**Community Development Department**  
651-792-7074 ♦ fax: 651-792-7070

Should you have any questions or comments, please call me at 651-792-7074.

*Respectfully,*

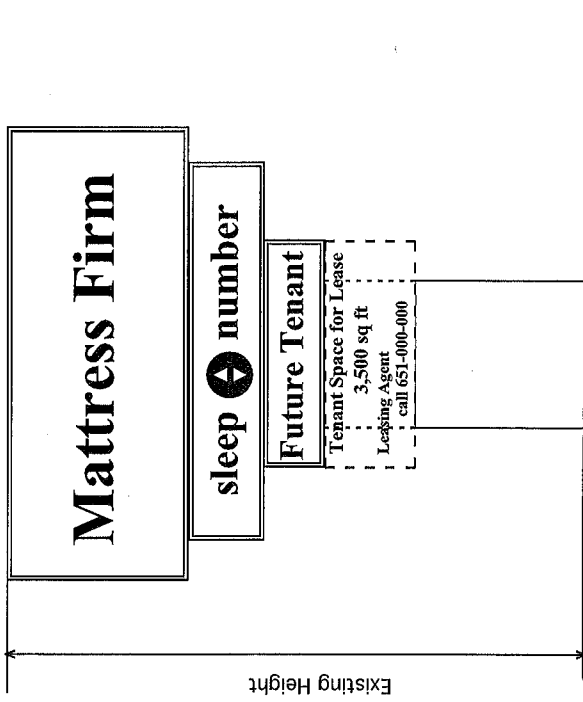
***CITY of ROSEVILLE***



*Thomas Paschke*  
*City Planner*







Double faced signs

Existing Mattress Firm Sign  
5'-0" x 15'-0" 75 Sq Ft

Sleep Number Sign with logo  
2'-6" x 12'-0" 30 Sq Ft

Future Tenant Sign  
2'-0" x 7'-6" 15 Sq Ft

Total 120 Sq Ft

Temporary leasing sign  
3'-0" high and 7'-6" wide 22.5 Sq Ft

6/5/12

**Pylon and Temporary Leasing Signs**

**Flame Development**

1723 County Road B, Roseville MN 55113

**Prime General Contractors**

1001 East Cliff Road, Ste 302., Burnsville, MN 55337 952-746-3637

© Perry Bolin Architecture PLLC Perry R. Bolin, Architect, NCARB, LEED AP  
5009 Quail Ave. N., Minneapolis, MN 55429 perryb@usfamily.net 651-208-1798

**1d**



COMMUNITY DEVELOPMENT

2660 Civic Center Drive ❖ Roseville, MN 55113

Phone: (651) 792-7005 ❖ Fax: (651) 792-7070

MASTER SIGN PLAN APPLICATION

CITY CODE SECTION 1010.03

www.ci.roseville.mn.us

RESIDENTIAL APPLICATION FEE: \$250

COMMERCIAL APPLICATION FEE: \$350

Fee should be made payable to City of Roseville upon submittal of application.

Please complete the application by typing or printing in ink. Use additional paper if necessary.

1. Property Owner Information: Flame Development Company, LLP

Last name: Abramovitz First name: Mark
Address: 1660 South Highway 100, Ste. 532 City/State/Zip: St. Louis Park, MN 55416
Phone number: (952) 893-0729 Email address: brimar1036@yahoo.com

2. Applicant Information: (if different from above)

Company name: Perry Bolin Architecture, PLLC
Last name: Bolin First name: Perry
Address: 5009 Quail Avenue North City/State/Zip: Minneapolis, MN 55429
Phone number: (651) 208-1798 Email address: perryb@usfamily.net

3. Address of Property Involved: (if different from above)

1723 County Road B2 West, Roseville, MN 55113

4. Additional Required Information:

- a. Site plan illustrating on-site improvements and location of proposed signage
b. Sign details including sign dimensions, area calculations, and construction specifications for each sign being contemplated, as well as elevations showing wall signs and/or freestanding signs as appropriate

5. Signature(s): By signing below, you attest that the information above and attached is true and correct to the best of your knowledge.

Property Owner: [Signature]

Date: 04/04/2012

Applicant: Perry R Bolin

Date: 04/04/2012



**Perry Bolin Architecture, PLLC**

Perry R. Bolin, AIA, NCARB, LEED AP  
[www.perrybolinarchitecture.com](http://www.perrybolinarchitecture.com)

5009 Quail Ave. N.  
Minneapolis, MN 55429

(651) 208-1798  
[perryb@usfamily.net](mailto:perryb@usfamily.net)

PROGRAMS



ROSEVILLE. A Way of Life.

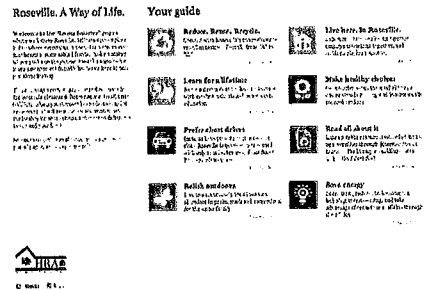
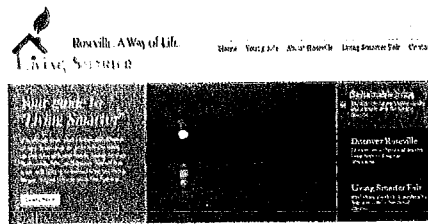
LIVING SMARTER

Connect for a Lifetime of Healthy Living. Here in Roseville.

Welcome to the "Living Smarter" campaign—where we believe Roseville is not just a place to live, it is community that boasts a 'sustainable lifestyle.' And no matter where you're on the journey toward a sustainable, more environment-friendly life, we're here to help you along the way.

The "Living Smarter" campaign has been developed by the Roseville Housing & Redevelopment Authority (RHRA) to provide current residents, as well as those looking to move into the community, with resources that not only help protect our environment, but also to save money in the process.

The all-new, easy-to-use [www.LivingSmarter.org](http://www.LivingSmarter.org) features resources that help you save money, connect with the healthy lifestyle options, and create a difference to you and your family. Feel free to set this as your browser's home page, or bookmark "Living Smarter," and check back frequently for the latest tips and features.



Your Guide features:

- » Reduce. Reuse. Recycle.
- » Live here. In Roseville.
- » Learn for a lifetime
- » Make healthy choices
- » Prefer short drives
- » Read all about it
- » Relish outdoors
- » Save energy

Contact  
651.792.7015  
[hra@ci.roseville.mn.us](mailto:hra@ci.roseville.mn.us)

Location  
Roseville Housing  
and Redevelopment Authority  
2660 Civic Center Drive  
Roseville, MN 55113  
[www.cityofroseville.com/hra](http://www.cityofroseville.com/hra)

Making smarter choices about transportation doesn't necessarily mean buying a new, more fuel efficient car—it simply means learning how to drive less. Making home energy efficient doesn't necessarily mean costly renovations—it means incorporating best practices in landscaping, building or remodeling, and taking advantage of programs and resources available to you and your family through the community. Living healthy doesn't mean expensive specialty foods—it means being smarter about the kind of things you're already buying and looking for locally sourced produce. These changes may seem big and small, but 'Living Smarter' begins wherever you're right now.

So pour yourself a cup of coffee, grab a pen and a pad of paper, and let's get started!

Access the "Living Smarter" resources at [www.LivingSmarter.org](http://www.LivingSmarter.org)



For more information about the Living Smarter campaign, please visit [www.LivingSmarter.org](http://www.LivingSmarter.org) or contact 651.792.7015, or email [info@livingsmarter.org](mailto:info@livingsmarter.org).

City of Roseville  
651-792-7000

04/09/2012 11:31  
Receipt No. 00278702

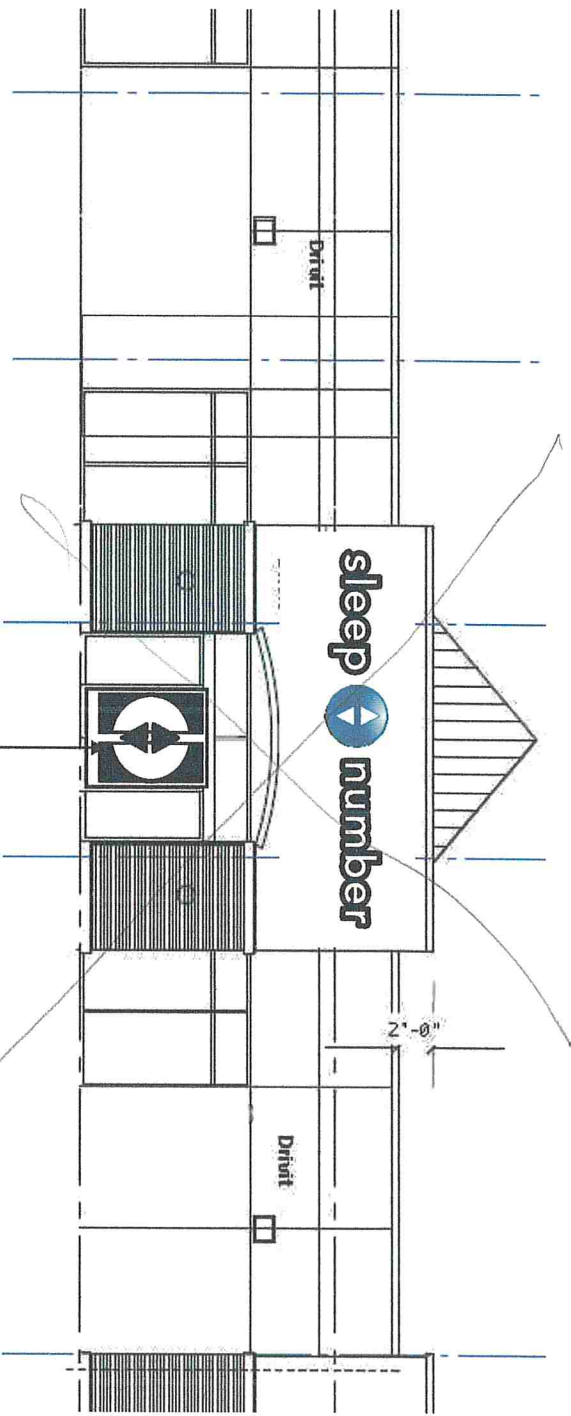
signplan  
Master Sign Pl  
an 350.00

-----  
Receipt Total 350.00

Cash 0.00  
Check 350.00 Check #3227  
Charge 0.00

FLAME DEVELOPMENT

Cashier: jill.hughes  
Station: RVFIN701



OPAQUE DARK BLUE VINYL  
INSTALLED FIRST AND SECOND SURFACE

THESE SIGNS ARE 1.5 SQUARE FEET PER LINEAR FOOT. THIS HAS A MORE LIKELY CHANCE OF BEING APPROVED THAN PAGE 1  
BUT WE WILL NOT KNOW FOR SURE UNTIL THE CITY REVIEWS THE LANDLORDS MASTER SIGN PLAN.

SEE PAGE 10  
FOR SPECS

**UNIVERSAL**  
*Signs* INC.

1033 THOMAS AVE  
ST. PAUL, MN 55104  
ph 651-645-0223  
fax 651-645-2531  
www.universalsignsinc.com

LOCATION  
SLEEP NUMBER  
1723 COUNTY RD B2  
ROSEVILLE, MN

PAGE 5

DRAWN BY	REVISED
SEP	
DATE	SCALE
2/22/12	3/32" = 1'-0"

**sleep**  **number**



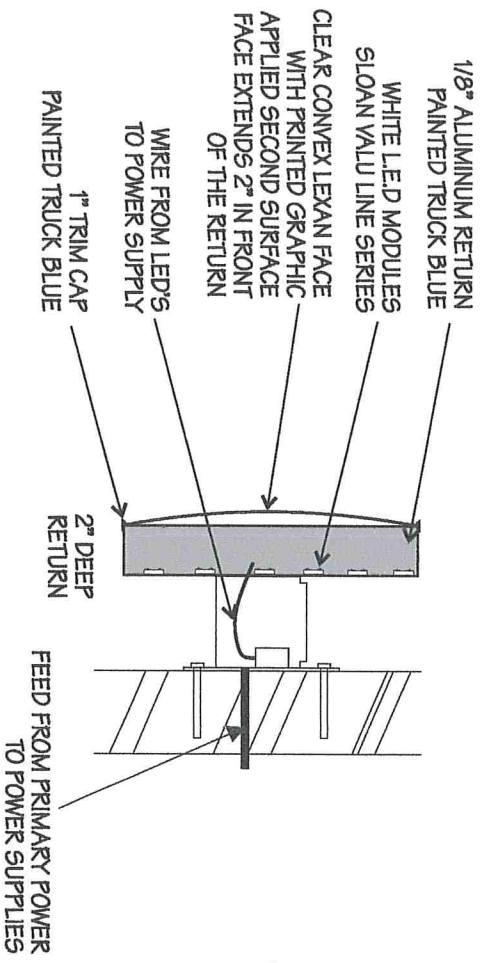
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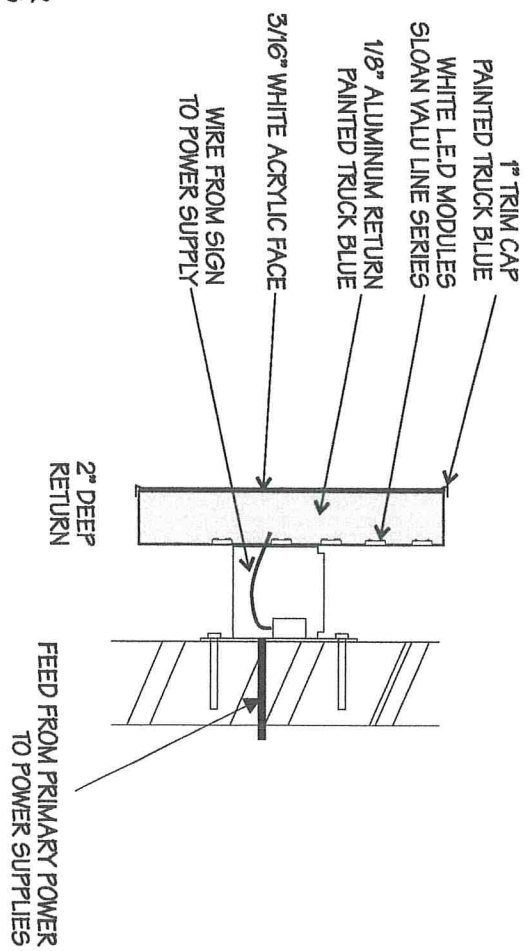
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STORE FRONT SIGN 42 SQUARE FEET  
1/2" = 1'-0"



SECTION THROUGH LOGO  
NO SCALE



SECTION THROUGH LETTER  
NO SCALE

**UNIVERSAL**  
*Signs* INC.  
1033 THOMAS AVE  
ST. PAUL, MN 55104  
ph 651-645-0223  
fax 651-645-2531  
www.universalsignsinc.com

LOCATION  
SLEEP NUMBER  
1723 COUNTY RD B2  
ROSEVILLE, MN

PAGE 8

DRAWN BY	REVISED
SEP	
DATE	SCALE
2/12/12	NOTED







1950

1951

1952

1953

1954



sleep ⇄ number

**UNIVERSAL**  
*Signs* INC.

1033 THOMAS AVE  
ST. PAUL, MN 55104  
ph 651-645-0223  
fax 651-645-2531  
www.universalsignsinc.com

LOCATION

SLEEP NUMBER  
1723 COUNTY RD B2  
ROSEVILLE, MN

PAGE 7

DRAWN BY  
SEP

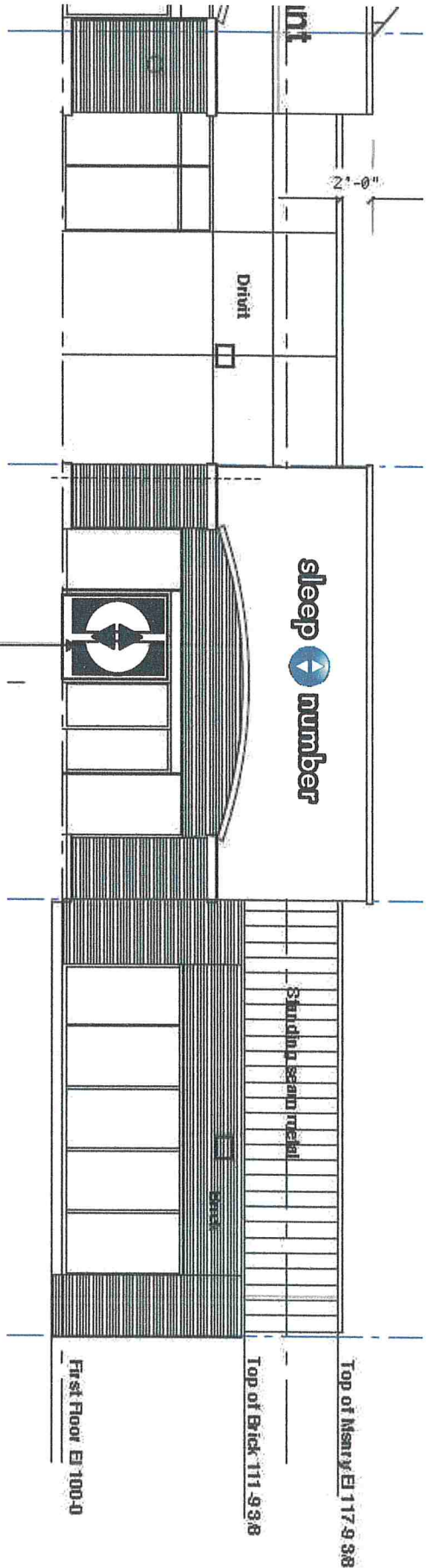
DATE  
2/22/12

REVISED

SCALE  
NONE

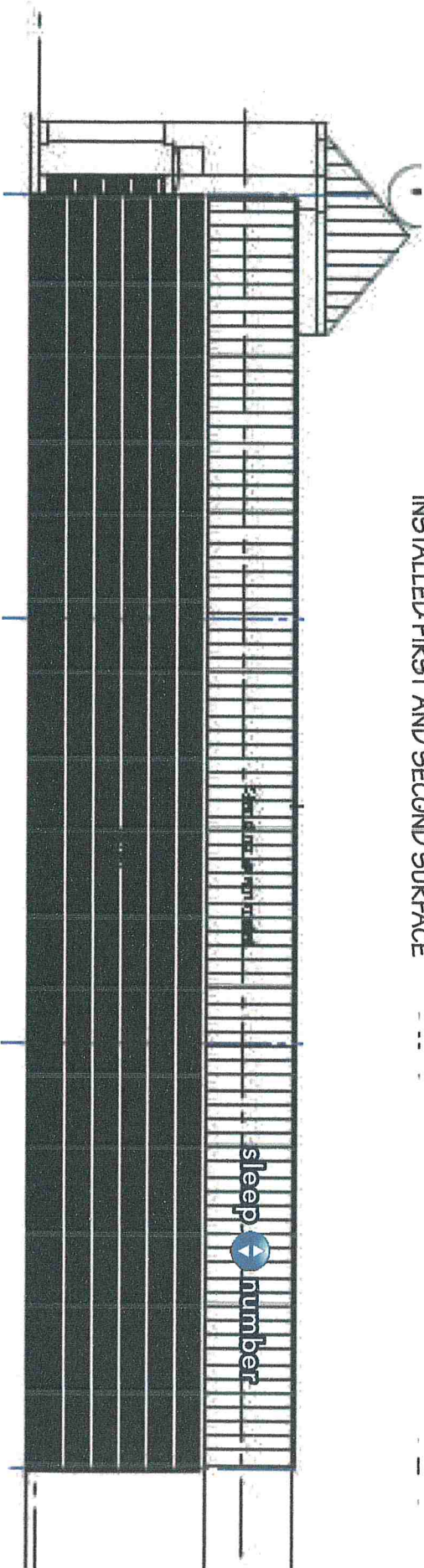
sleep ⇄ number





OPAQUE DARK BLUE VINYL  
 INSTALLED FIRST AND SECOND SURFACE

SOUTH ELEVATION



EAST ELEVATION

THESE SIGNS ARE 1.5 SQUARE FEET PER LINEAR FOOT. THIS HAS A MORE LIKELY CHANCE OF BEING APPROVED THAN PAGE 1  
 BUT WE WILL NOT KNOW FOR SURE UNTIL THE CITY REVIEWS THE LANDLORDS MASTER SIGN PLAN.

SEE PAGE 4  
 FOR SPECS

**UNIVERSAL**  
*Signs* INC.

1033 THOMAS AVE  
 ST. PAUL, MN 55104  
 ph 651-645-0223  
 fax 651-645-2531  
 www.universalsignsinc.com

LOCATION  
 SLEEP NUMBER  
 1723 COUNTY RD B2  
 ROSEVILLE, MN

PAGE 5

DRAWN BY SEP	REVISED
DATE 2/22/12	SCALE 3/32" = 1'-0"

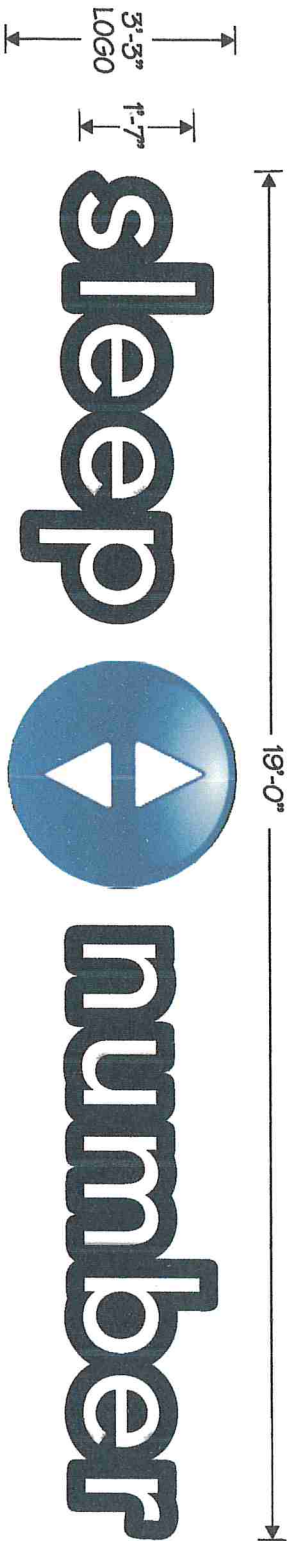
**sleep**  **number**



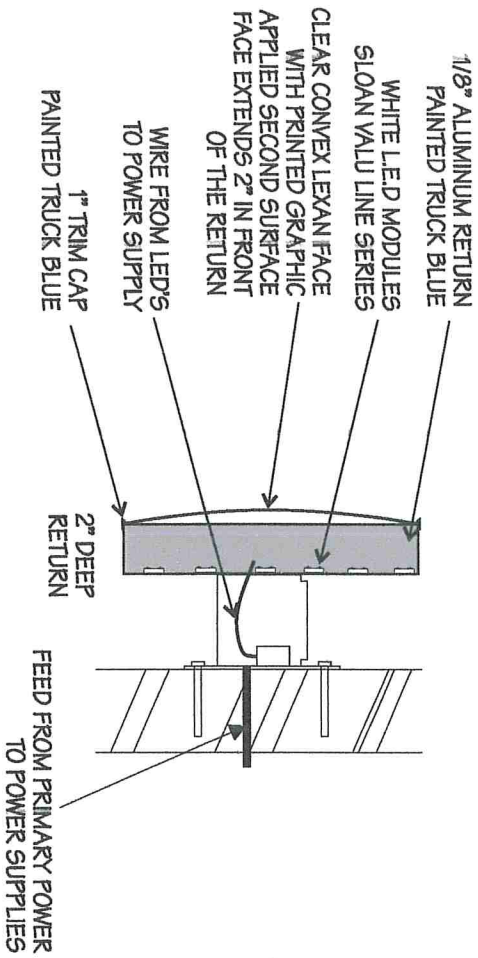
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[Faint, illegible text in the middle column, possibly bleed-through from the reverse side of the page.]

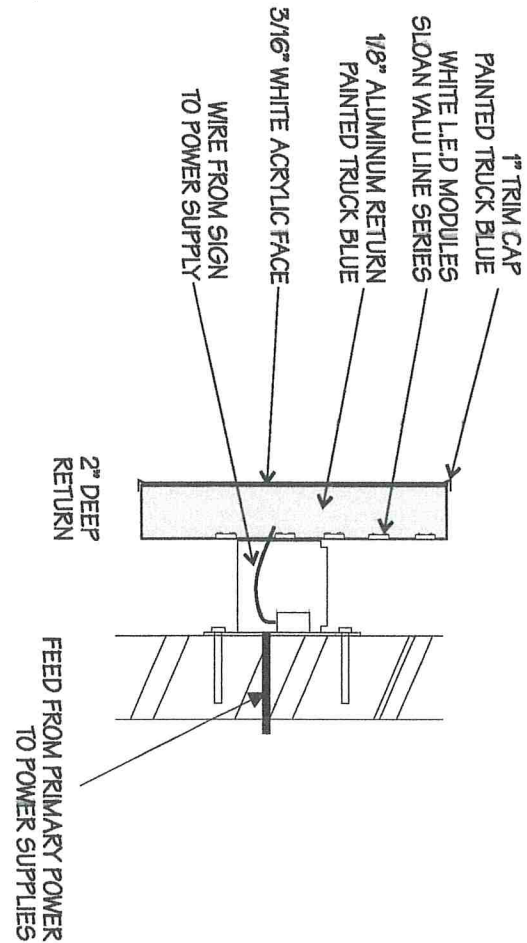
[Faint, illegible text in the right column, possibly bleed-through from the reverse side of the page.]



STORE FRONT SIGN 61.75 SQUARE FEET  
 3/8" = 1'-0"



SECTION THROUGH LOGO  
 NO SCALE

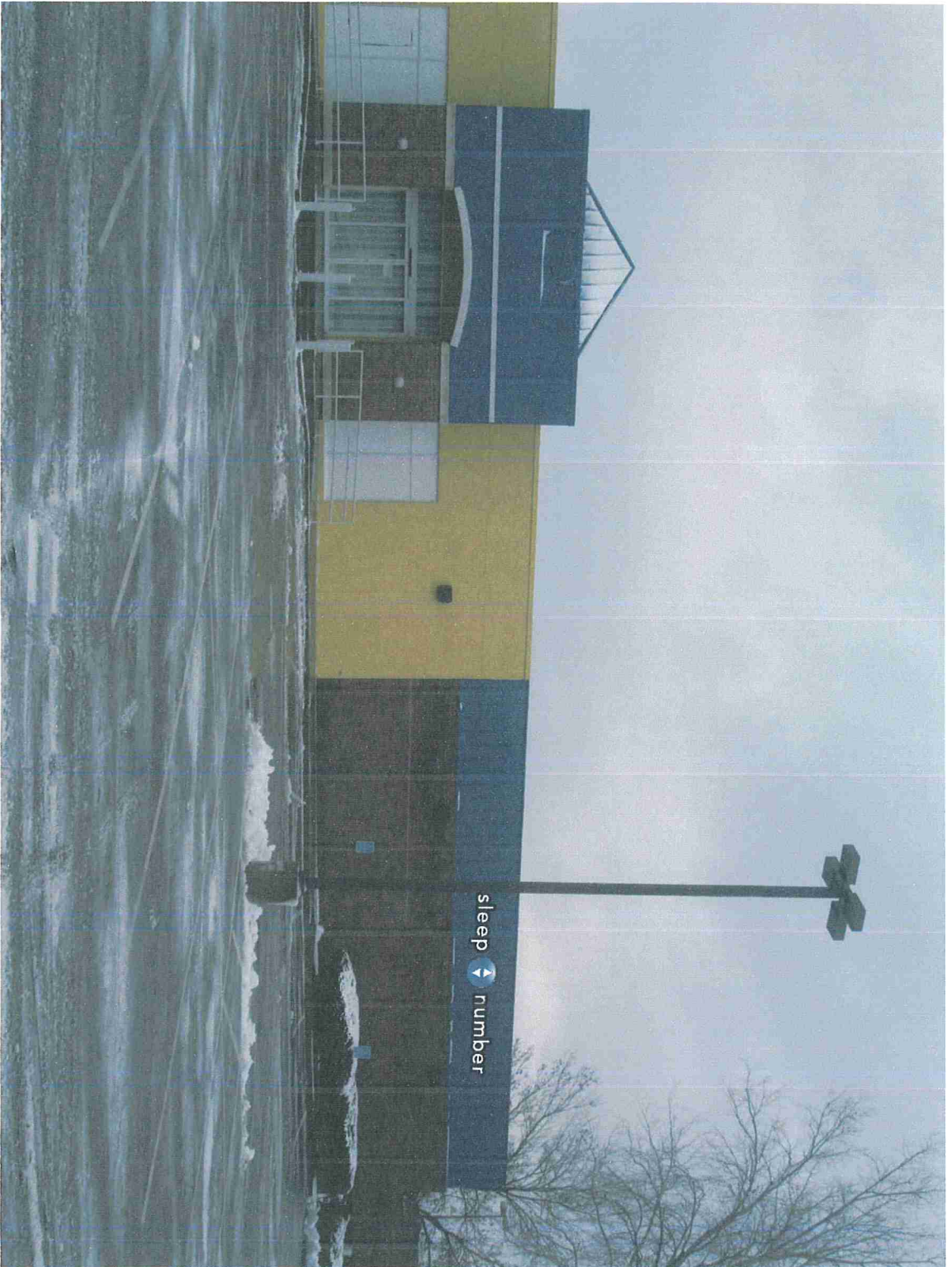


SECTION THROUGH LETTER  
 NO SCALE

DRAWN BY	REVISED
SEP	
DATE	SCALE
2/22/12	NOTED



[The page contains extremely faint, illegible text that appears to be bleed-through from the reverse side. The text is arranged in several columns and paragraphs, but the characters are too light to be accurately transcribed.]



**UNIVERSAL**  
*Signs* INC.

1033 THOMAS AVE  
 ST. PAUL, MN 55104  
 ph 651-645-0223  
 fax 651-645-2531  
 www.universalsignsinc.com

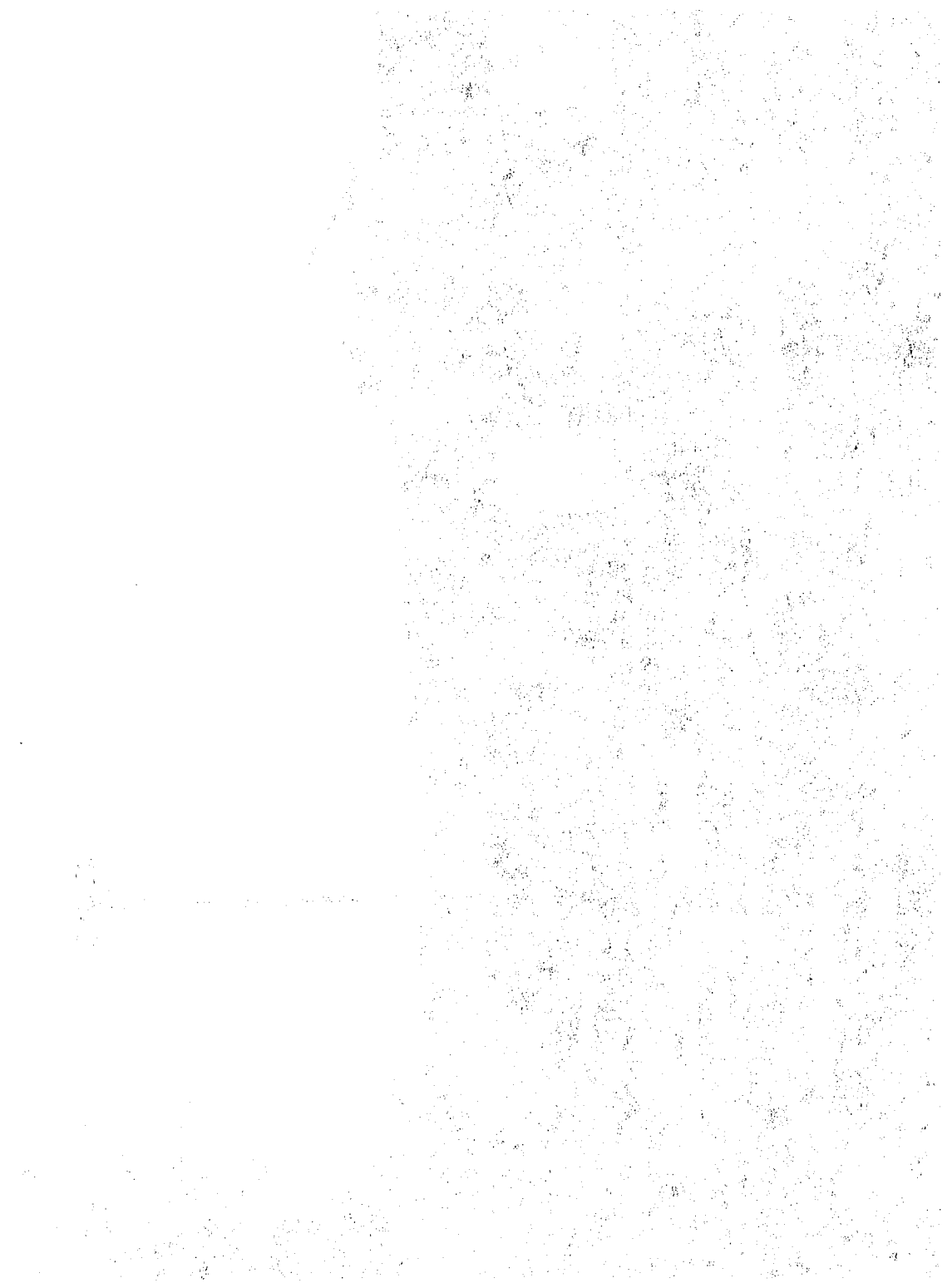
LOCATION  
 SLEEP NUMBER  
 1725 COUNTY RD B2  
 ROSEVILLE, MN

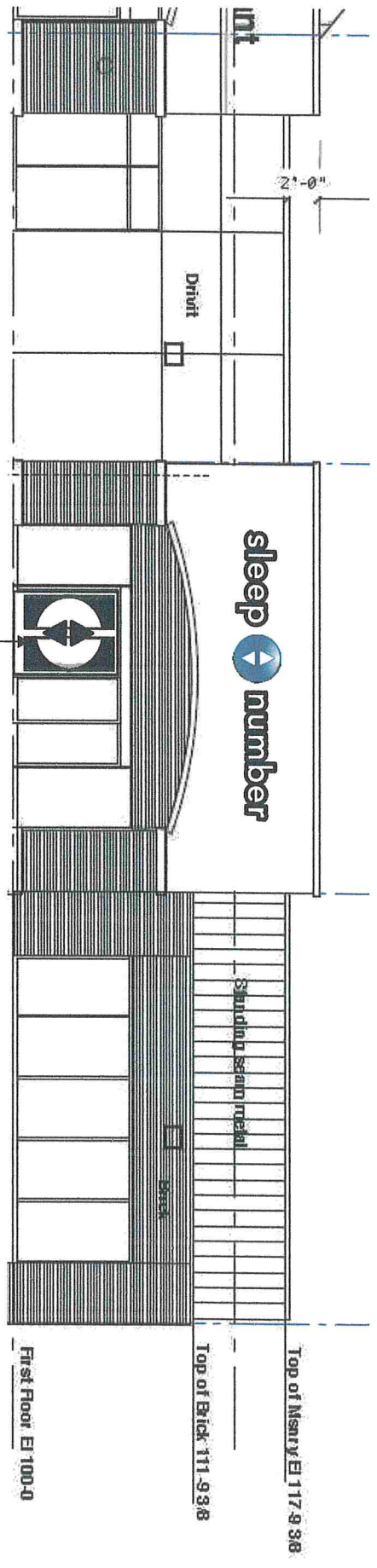
PAGE 2

DRAWN BY	REVISED
SEP	
DATE	SCALE
2/22/12	NONE

**sleep**  **number**

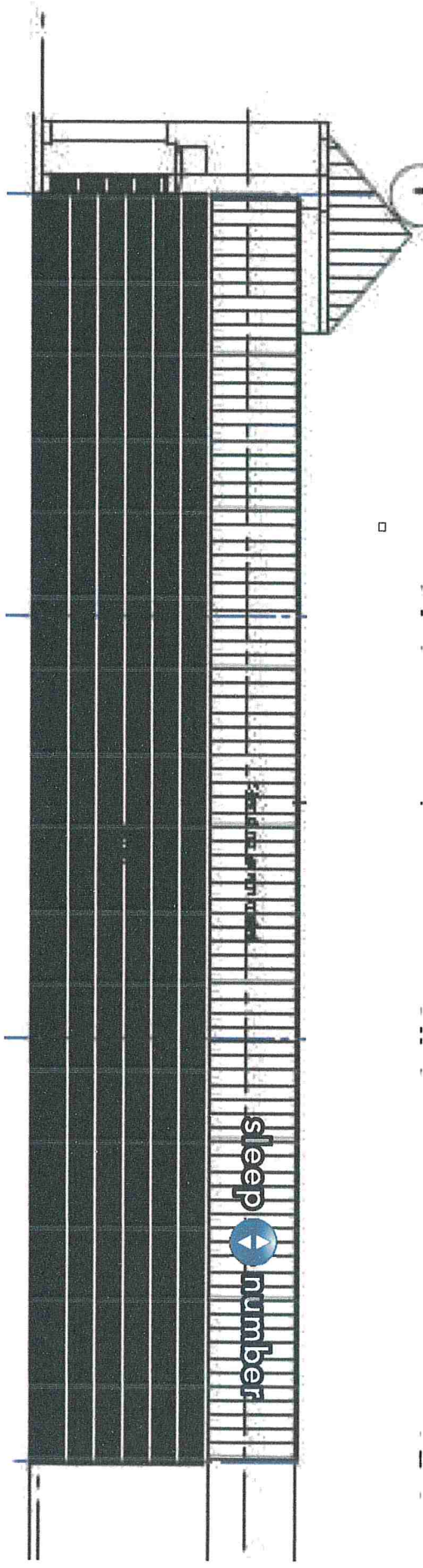






OPAQUE DARK BLUE VINYL  
INSTALLED FIRST AND SECOND SURFACE

SOUTH ELEVATION



EAST ELEVATION

THIS IS WHAT THE LANDLORD IS PROPOSING IN THEIR MASTER SIGN PLAN 2.5 SQUARE FEET PER LINEAR FOOT.  
IT IS NOT LIKELY TO PASS BUT IF IT DOES THIS WOULD BE THE MAXIMUM ALLOWED SIGNAGE PER THE LL

SEE PAGE 4  
FOR SPECS

**UNIVERSAL**  
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fax 651-645-2531  
www.universalsignsinc.com

LOCATION  
SLEEP NUMBER  
1723 COUNTY RD B2  
ROSEVILLE, MN

PAGE 1

DRAWN BY	REVISED
SEP	
DATE	SCALE
2/22/12	3/32" = 1'-0"

**sleep**  **number**



<b>Sign A</b>	Sign: 33" Mattress Firm
	Sign Type: Channel Letters on a Raceway w/ Backer Panel
	Illumination: Internally Illuminated LED
	Square Footage: 87.09
	To Grade: Top of Sign To Grade = 24'-11 1/2"
	Bottom of Sign To Grade = 21'-0 1/4"

<b>Sign B</b>	Sign: 27" Mattress Firm
	Sign Type: Channel Letters on a Raceway w/ Backer Panel
	Illumination: Internally Illuminated LED
	Square Footage: 58.33
	To Grade: Top of Sign To Grade = 16'-9 5/8"
	Bottom of Sign To Grade = 13'-7"

<b>Sign C</b>	Sign: Mattress Firm SuperCenter
	Sign Type: Lexan panels with applied vinyl to be supplied by others
	Actual Size: TBD
	Viewable Size: TBD
	Square Footage: TBD

NOTE: DRAWING IS FOR REPRESENTATIONAL PURPOSES ONLY. EXACT DIMENSIONS (FIELD SURVEY) REQUIRED PRIOR TO FABRICATION.

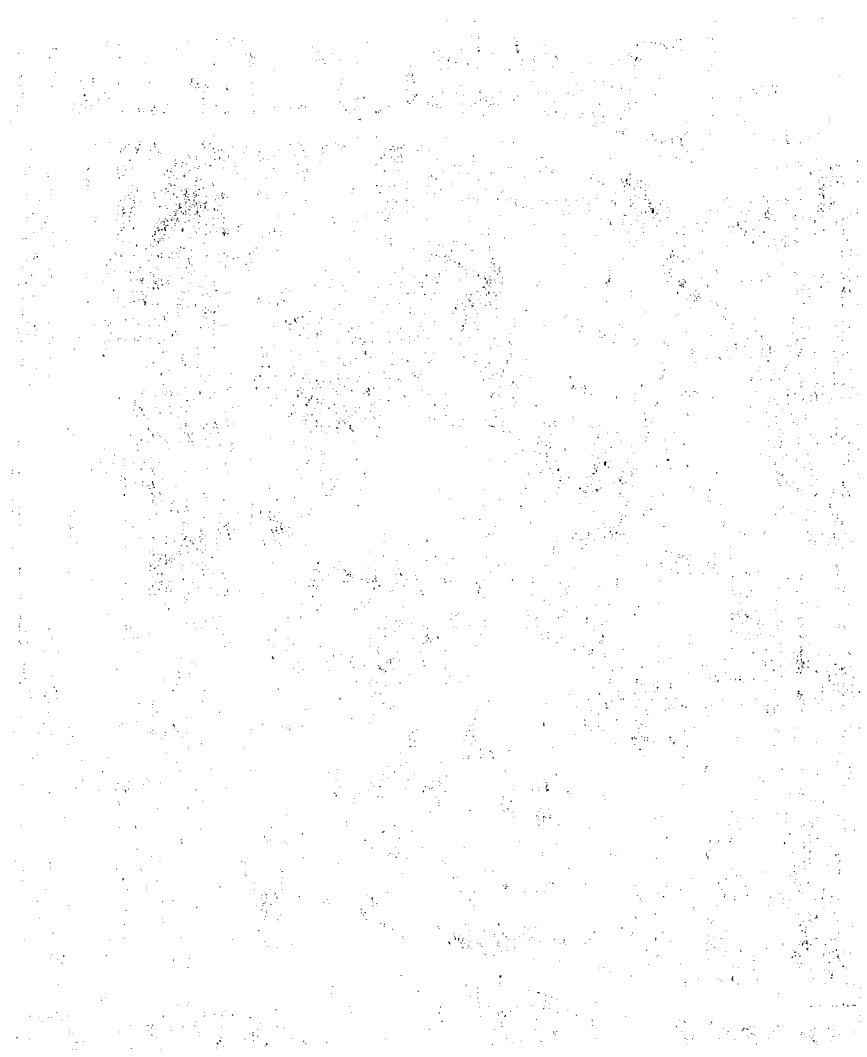
<b>MATTRESS FIRM</b>	Client: Mattress Firm
	Site #: MF-A15694
	Address: 1723 Country Road B 2 West
	Rosedale, MN 55113
	Rosedale

REVISION INFO	
01/18/2012	Original Rendering
03/29/2012	Roadway Elevation Renderings

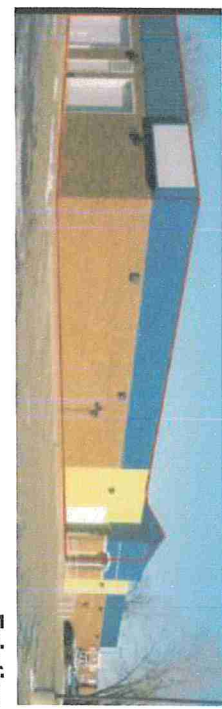


BC	
BC	

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Sign A	Sign: 30" Mattress Firm linear
	Sign Type: Channel Letters on a Raceway w/ Backer Panel
	Illumination: Internally Illuminated LED
	Square Footage: 92.00
	To Grade: Top of Sign To Grade = 17'-5 1/4"
	Bottom of Sign To Grade = 13'-11 1/4"



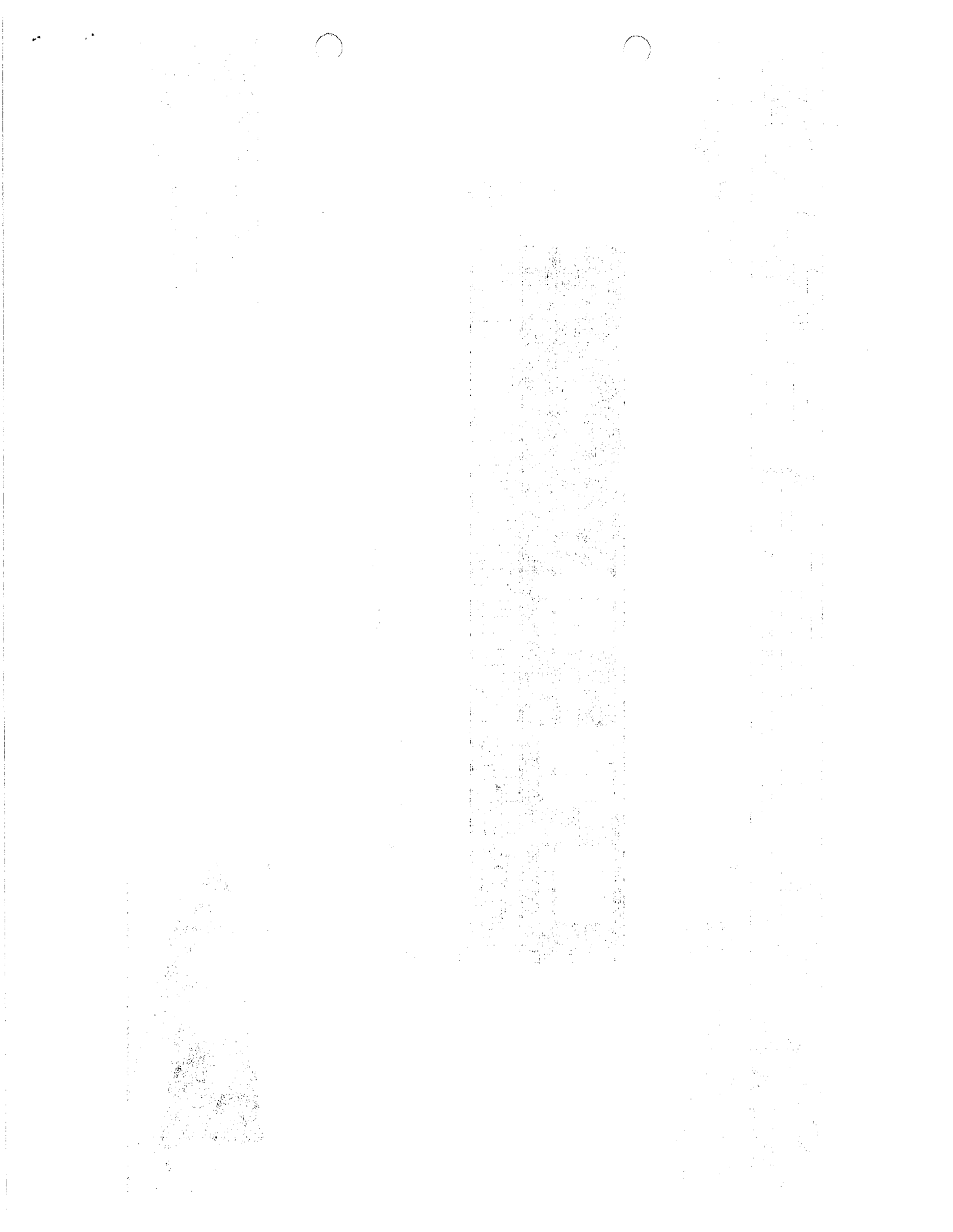
Existing



NOTE: DRAWING IS FOR REPRESENTATIONAL PURPOSES ONLY - EXACT DIMENSIONS (FIELD SURVEY) REQUIRED PRIOR TO FABRICATION.

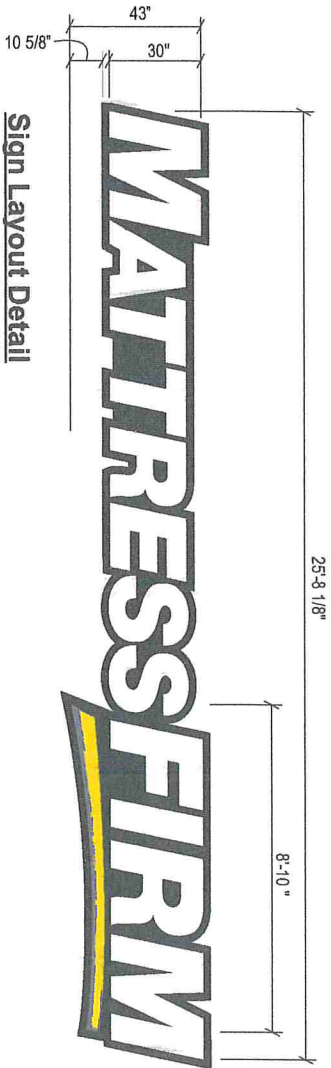
Client: Mattress Firm	Site #: MF-A15694
Address: 1723 Country Road B 2 West Roseville, MN 55113 Rosedale	
REVISION INFO	
01/18/2012	Original Rendering
03/29/2012	Redraw Elevation Renderings
BC	Jefferson House A1610
BC	Hale Village A1627
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Allowable Square Footage this Elevation: <b>142.50</b> Formula: Allowed 1.5 square feet per linear foot of store front for entire building 1.5 x 95 = 142.50 Actual Square Footage this Elevation: <b>92.00</b>	
1.800.213.3331	







<b>Sign A</b>	Sign: 30" Mattress Firm linear Channel Letters on a Raceway w/ Backer Panel
Sign Type:	Channel Letters on a Raceway w/ Backer Panel
Illumination:	Internally Illuminated LED
Square Footage:	92.00
To Grade:	Top of Sign To Grade = 17'-5 1/4" Bottom of Sign To Grade = 13'-11 1/4"



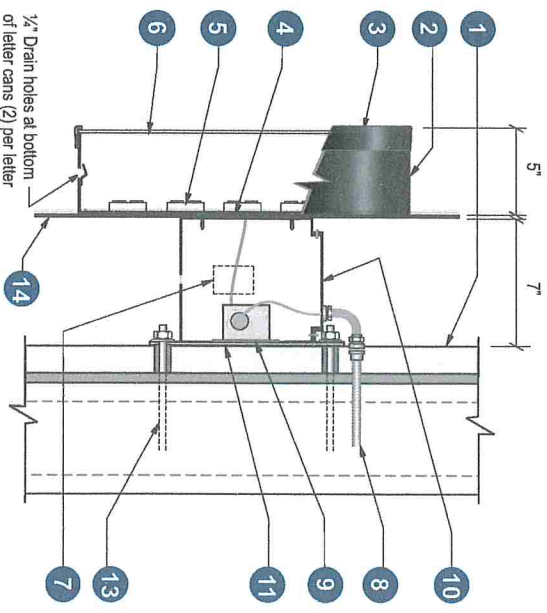
<b>Electrical Detail:</b>	A) Fluorescent ( ) Xitanium transformers Total Amps: ( ) 20 amp 120V Circuit Req.
---------------------------	--

<b>General Notes:</b>	This sign is to be installed in accordance with the requirements of Article 600 of the National Electrical Code. 1) Grounded and bonded per NEC 600.7/NEC 250 2) Existing branch circuit in compliance with NEC 600.5, not to exceed 20 amps 3) Sign is to be UL listed per NEC 600.3 *UL disconnect switch per NEC 600.6- required per sign component before leaving manufacturer* *For multiple signs, a disconnect is permitted but not required for each section
-----------------------	---

NOTE: DRAWING IS FOR REPRESENTATIONAL PURPOSES ONLY. EXACT DIMENSIONS (FIELD SURVEY) REQUIRED PRIOR TO FABRICATION.

**Specifications: Channel Letters/ Backer panel/ Raceway**

- Existing Facade: TBD
- 0.040" Aluminum letter returns painted to match black
- 0.125" x 1" trim cap to match black
- 3mm Signabond Lite composite backs (interior of sign can painted ultra white for maximum illumination)
- White LEDs
- 3/16" acrylic faces:  
 R&H #7328 White acrylic for letters  
 R&H #2016 Yellow for "Swoosh" w/ 3m #7725-12 Gloss Black vinyl 'drop shadow' on swoosh
- Waterproof disconnect switch per NEC 600-6
- Primary electrical feed
- Transformers
- 0.080" Aluminum raceway painted to match the facade
- 15" x 2" x 0.1875" Aluminum mounting tabs welded to raceway - Maximum 6" from each end and every 48" o.c.
- #12 x 1" TEC screws with 1/4" fender washers
- Mounting hardware to suit
- 0.080" Backer panel painted to match black



<b>MATTRESS FIRM</b>	
Client: Mattress Firm	Site #: MF-A15694
Address: 1723 Country Road B 2 West Roseville, MN 55113 Rosedale	
<b>REVISION INFO</b>	
01/18/2012	Original Rendering
03/29/2012	Rework Elevation Renderings
BC	
BC	
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1.800.213.3331	



<b>Sign B</b>	Sign: 27" Mattress Firm
Sign Type:	Channel Letters on a Raceway w/ Backer Panel
Illumination:	Internally Illuminated LED
Square Footage:	58.33
To Grade:	Top of Sign To Grade = 16'-9.5/8" Bottom of Sign To Grade = 13'-7"



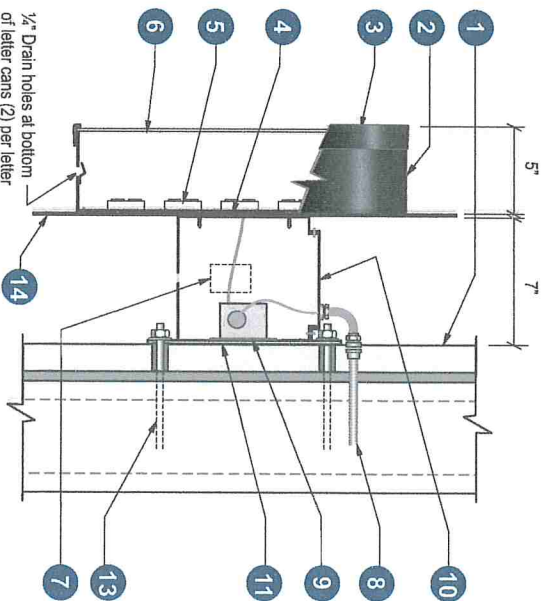
**Sign Layout Detail**  
Scale: 1/4" = 1'-0"

<b>Electrical Detail:</b>
Agilight Tuffrayz White led's
( ) Xitanium transformers
Total Amps:
( ) 20 amp 120V Circuit Req.

<b>General Notes:</b>
This sign is to be installed in accordance with the requirements of Article 600 of the National Electrical Code.
1) Grounded and bonded per NEC 600.7/NEC 250
2) Existing branch circuit in compliance with NEC 600.5, not to exceed 20 amps
3) Sign is to be UL listed per NEC 600.3
4) UL disconnected switch per NEC 600.6- required per sign component before leaving manufacturer
For multiple signs, a disconnect is permitted but not required for each section

**NOTE: DRAWING IS FOR REPRESENTATIONAL PURPOSES ONLY. EXACT DIMENSIONS (FIELD SURVEY) REQUIRED PRIOR TO FABRICATION.**

<b>Specifications: Channel Letters/ Backer panel/ Raceway</b>
1. Existing Facade: TBD
2. 0.040" Aluminum letter returns painted to match black
3. 0.125" x 1" trim cap to match black
4. 3mm Signabond Lite composite backs (interior of sign can painted ultra white for maximum illumination)
5. White LED's
6. 3/16" acrylic faces:
<input type="checkbox"/> R&H #7328 White acrylic for letters
<input type="checkbox"/> R&H #2016 Yellow for "Swoosh" w/
3m #7725-12 Gloss Black vinyl 'drop shadow' on swoosh
7. Waterproof disconnect switch per NEC 600-6
8. Primary electrical feed
9. Transformers
10. 0.080" Aluminum raceway painted to match the facade
11. 15" x 2" x 0.1875" Aluminum mounting tabs welded to raceway
- Maximum 6" from each end and every 48" o.c.
12. #12 x 1" TEC screws with 1/16" fender washers
13. Mounting hardware to suit
14. 0.080" Backer panel painted to match black



**Section @ LED Channel Letter**  
Backer Panel / Raceway Scale: N.T.S.

<b>MATTRESS FIRM</b>	Client: Mattress Firm	01/18/2012	Original Rendering	BC
	Site #: MF-A15894	03/29/2012	Redraw Elevation Renderings	BC
Address: 1723 County Road B 2 West Roseville, MN 55113 Rosedale	REVISION INFO			
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 1.800.213.3331				

<b>Sign C</b>	
Sign:	Mattress Firm SuperCenter
Sign Type:	Lexan panels with applied vinyl to be supplied by others
Actual Size:	TBD
Viewable Size:	TBD
Square Footage:	TBD



Applied Vinyl to Existing Panel  
Qty: 2 (1 Set) N.T.S.

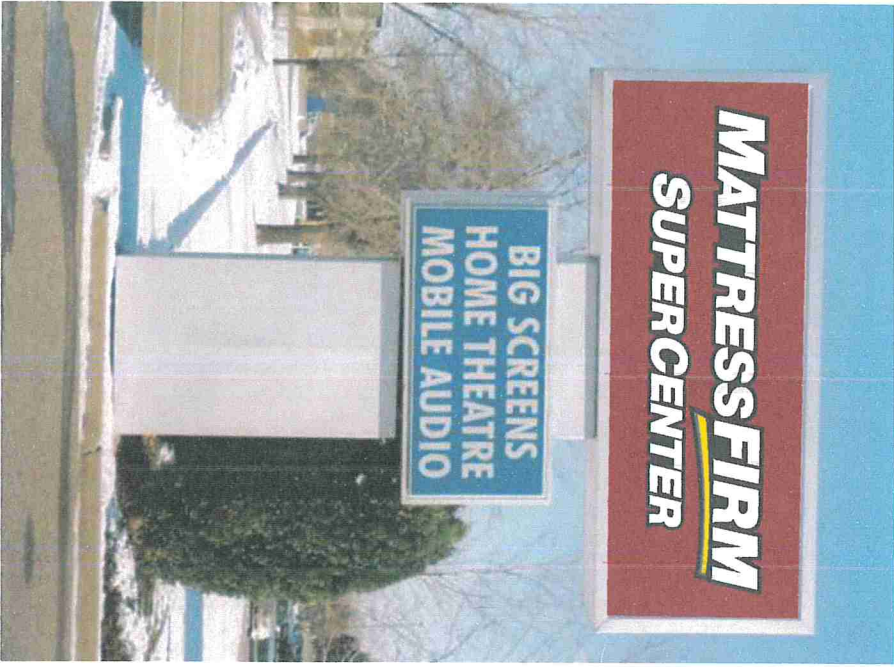
NOTE: DRAWING IS FOR REPRESENTATIONAL PURPOSES ONLY. EXACT DIMENSIONS (FIELD SURVEY) REQUIRED PRIOR TO FABRICATION.

	Client: Mattress Firm
	Site #: MF-A15694
Address: 1723 Country Road B 2 West	
Roseville, MN 55113	
Rosedale	

REVISION INFO

01/18/2012	Original Rendering	BC
03/29/2012	Redraw Elevation Renderings	BC

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Pylon Elevation  
N.T.S.



10-11-77



10-11-77

10-11-77

10-11-77

10-11-77

10-11-77

10-11-77



## Perry Bolin Architecture, PLLC

Perry Bolin, AIA, NCARB, LEED AP

### Memorandum

**Date:** 02/16/2012 Revised 04/04/12  
**By:** Perry Bolin (PBA)  
**To:** Mark Abramovitz  
**Project:** 1723 County Road B, Roseville  
**Subject:** Master Sign Plan Calculation - Mattress Firm, Select Comfort, & TBD

Master Sign Plan required by the City of Roseville                      Thomas Pashke 651-792-7005

The MAXIMUM allowable area of wall signs is  $1.5 \text{ sf} \times 1.5 =$  up to 2.25 sf per front foot of the building for each tenant. Total allowable for all sides of the building. Total Wall Sign area  $2.25 \times 196 \text{ LF} = 441 \text{ sf}$  maximum allowable.

#### Wall Signs

Mattress Firm                       $99 \text{ lf} \times 2.25 = 222 \text{ SF}$  of total wall sign area allowable  
Proposed                      A 92 SF + B 58.33 =                      150.33 SF

Sleep Express                       $56 \text{ lf} \times 2.25 = 125 \text{ sf}$  of total wall sign area allowable  
Proposed                      S 61.75 + E 42 = 103.75

To be determined                       $41 \text{ lf} \times 2.25 = 92 \text{ sf}$  of total wall sign area allowable  
Proposed                      S 54 + N 32 = 86 SF

Total Wall Sign area                      = 441 sf MAXIMUM  
Proposed                       $150.33 + 103.75 + 86 = 340 \text{ SF} = 77\%$  of allowable

#### Freestanding Signs

Up to 150 SF for 3 tenants, maximum height 25 ft  
Existing sign is  $5 \times 15' = 75 \text{ SF} + 32 \text{ sf} = 107 \text{ SF} +/-$ , 20height +/-

Proposed Mattress Firm Sign C Freestanding Existing upper sign  $5 \times 15' = 75 \text{ SF}$   
Proposed Select Comfort Freestanding lower sign =  $\frac{1}{2} \times 32 \text{ sf} = 16 \text{ SF}$   
Proposed TBD Freestanding lower sign =  $\frac{1}{2} \times 32 \text{ sf} = 16 \text{ SF}$   
Proposed Total  $107 +/- \text{ SF}$  ( Existing Sign Area) = 71.33% of allowable

## **Mattress Firm Sign Proposal**

Sign A South 25'8" ft long = 92 sf

Sign B West 23' 1 1/2" ft long = 58.33 sf

Sign C Freestanding Existing upper sign 5 x 15' = 75 SF

## **Select Comfort Sign Proposal**

56 lf x 2.25 = 125 sf of total wall sign area

Proposed South 61.75 SF

Proposed East 42 SF

Freestanding lower sign = 1/2 x 32 sf = 16 SF

## **Future Tenant Signs**

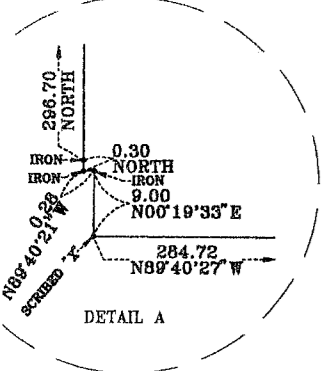
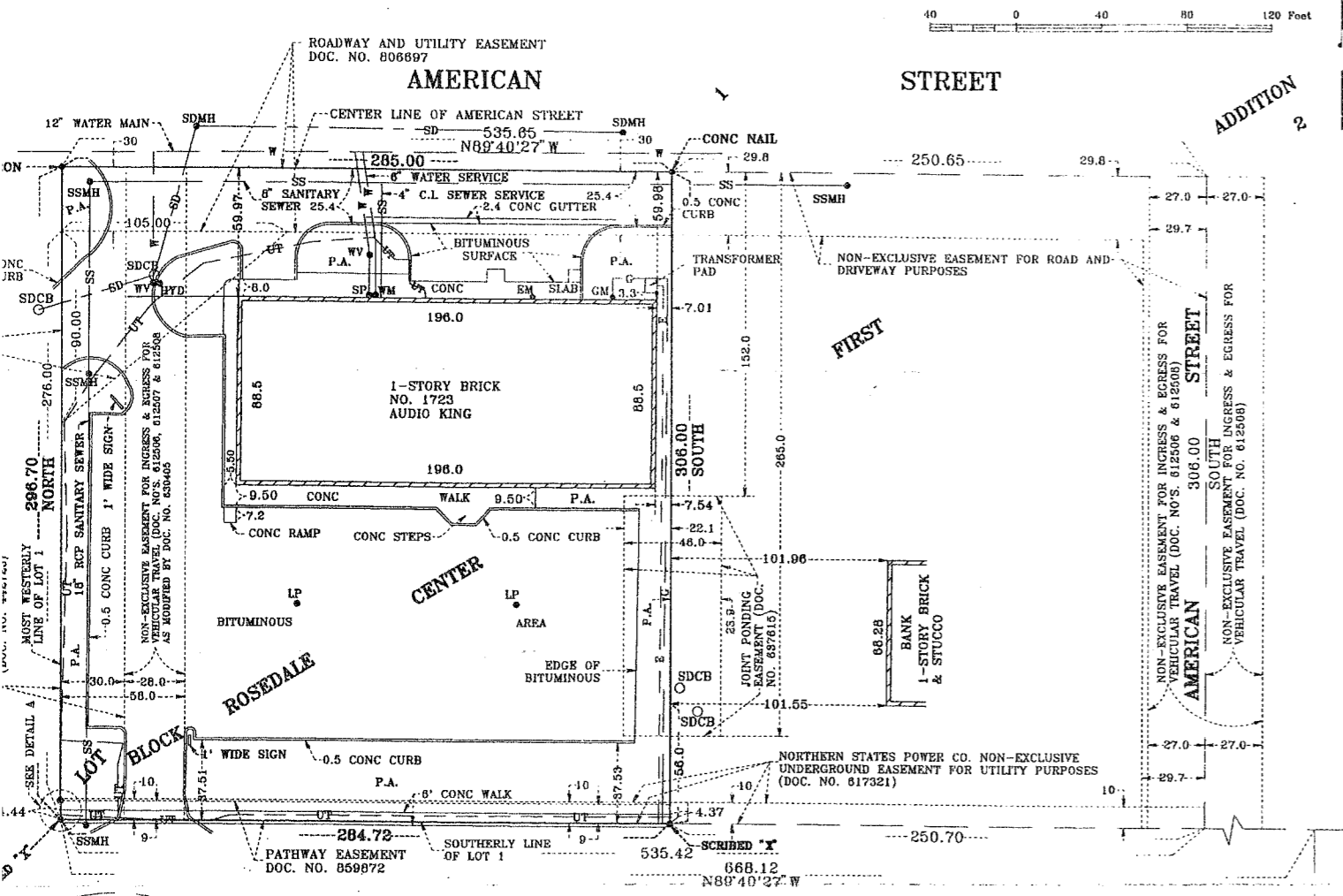
41 lf x 2.25 = 92 sf of total wall sign area

Proposed South 54 SF

Proposed North 32 SF

Freestanding Sign - 1/2 x 32 sf = 16 SF

# SURVEY FOR: FLAME DEVELOPMENT COMPANY



BEARINGS SHOWN ARE BASED ON THE BEARINGS SHOWN IN THE PLAT OF ROSEDALE CENTER FIRST ADDITION. UTILITY INFORMATION SHOWN IS BASED ON AVAILABLE INFORMATION. SOTA STATE STATUTE 216-D REQUIRES LOCATION OF AN UNDERGROUND LOCATOR (M CALLED "GOPHER ONE-CALL" (812-454- FOR UNDERGROUND UTILITY LOCATIONS TO ANY EXCAVATION. EASEMENTS SHOWN ARE AS PER CERTIFICATE OF TITLE 39522 DATED JULY 1, 1996

- DENOTES PROPERTY CORNER.
- DENOTES WATER VALVE.
- DENOTES WATER METER.
- DENOTES FIRE HYDRANT.
- DENOTES GAS METER.
- DENOTES ELECTRIC METER.
- DENOTES LIGHT POLE.
- DENOTES STAND PIPE.
- DENOTES UNDERGROUND TELEPHONE LINE.
- DENOTES STORM CATCH BASIN.
- DENOTES STORM MANHOLE.
- DENOTES STORM SEWER.
- DENOTES SANITARY SEWER MANHOLE.
- DENOTES SANITARY SEWER.
- DENOTES ELECTRIC LINE.

I hereby certify that this survey, plan, or

**Legal Description:**

All that part of Lot 1, Block 2, ROSEDALE CENTER FIRST ADDITION, lying Westerly of a line drawn parallel with and 285.00 feet Easterly of, as measured at right angles to, the most Westerly line of said Lot 1 and lying Southerly of a line drawn parallel with and 306.00 feet Northerly of, as measured at right angles to, that portion of the Southerly line of said Lot 1 which has a bearing of S 89 degrees 40 minutes 27 seconds E and a distance of 668.12 feet on the recorded plat of said ROSEDALE CENTER FIRST ADDITION.

Subject to and together with easements for joints ponding as shown as shown in Document No. 637615.

Subject to a Easement for Roadway and Utilities as described in Document No. 806897.

Together with a non-exclusive easement for road and driveway purposes over the East 29.7 feet and the North 29.8 feet of that part of said Lot 1 as described in Documents No's 812508 & 812508.

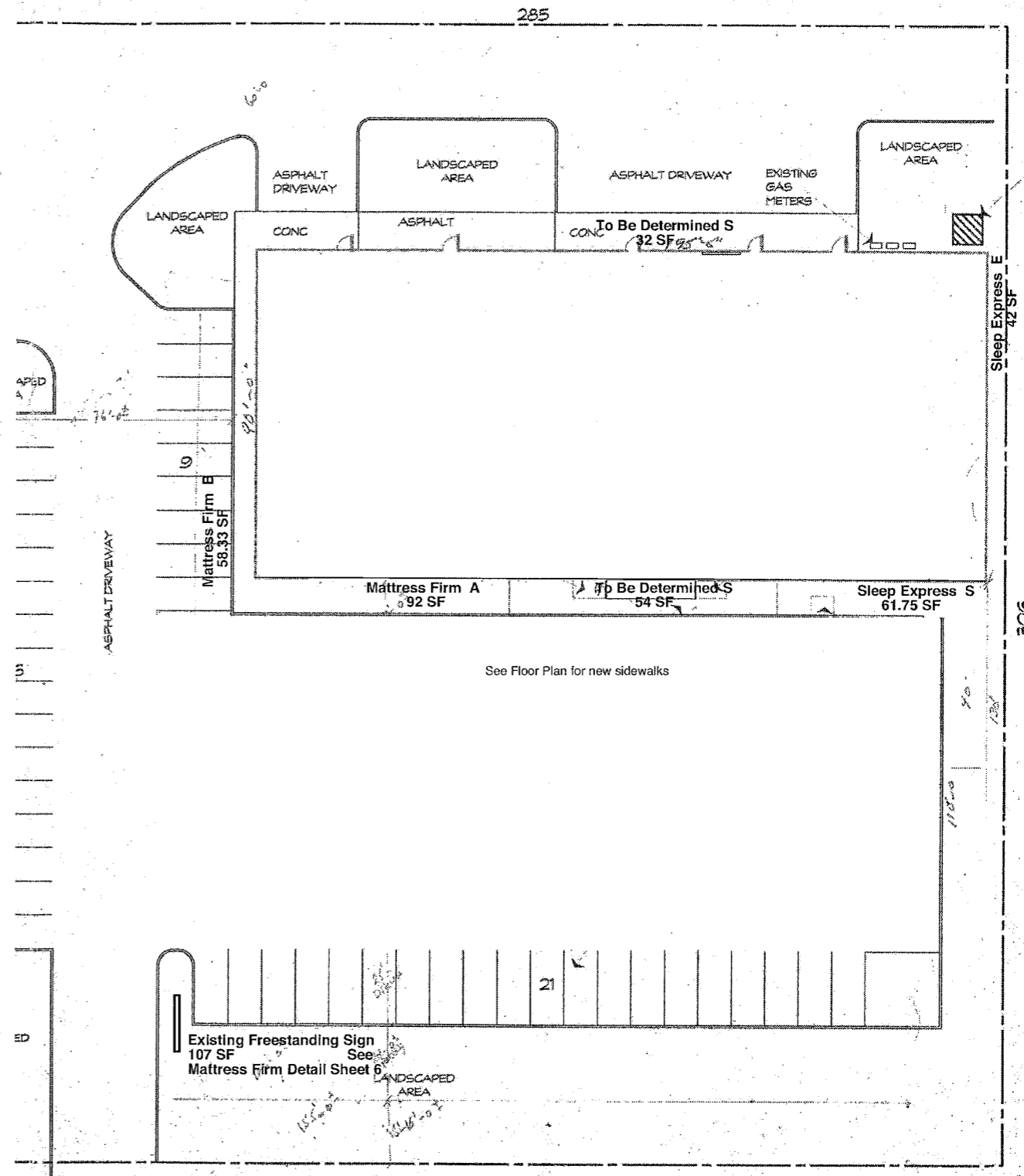
Subject to and together with easements and restrictions of record.

I hereby certify that this survey is made in accordance with the "Minimum Standard Detail Requirements" for ALTA/ACSM Land Title Survey jointly established and adopted by the ALTA/ACSM in 1992 and meets the accuracy requirements for an urban survey as defined therein.

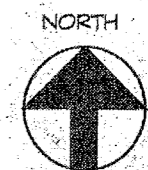
NOTE: THIS SURVEY CERTIFICATE IS NOT VALID WITHOUT AN ORIGINAL SIGNATURE AND A RAISED SEAL.

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DATE: 3/6/96	C. E. COULTER & ASSOCIATES, INC.	SCALE: 1" = 40'
REVISIONS:		JOB NO. 11583



PLAN



**Perry Bolin Architecture PLLC**  
 5009 Quail N. Wpls, MN 55429  
 P: 651.208.1738  
 F: 612.729.8351  
 © 2012 E: perryb@ustfamily.net

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.  
 Perry R. Bolin  
 Date: 03/16/12

Owner:  
**FLAME DEVELOPMENT COMPANY**  
 1660 South Hwy 100  
 St. Louis Park, MN 55416  
 952-893-0729

03/16/12 Permit Set

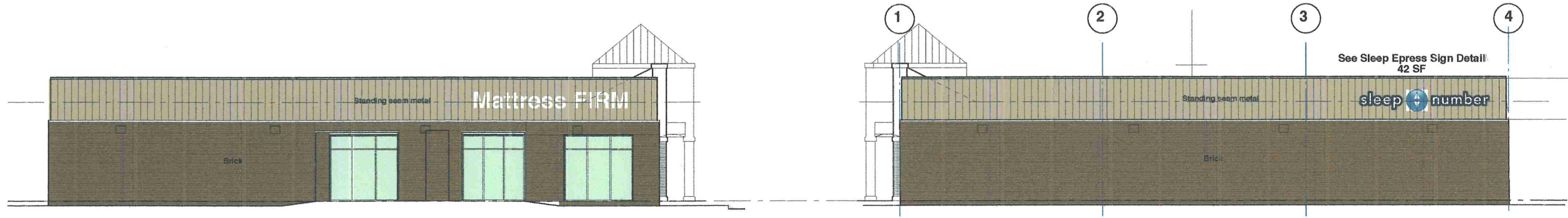
**Exterior Renovaton & Tenant Demising Walls for Mattress Firm & Select Comfort**  
 1723 County Road B2  
 St. Paul, MN 55113

HEET 1



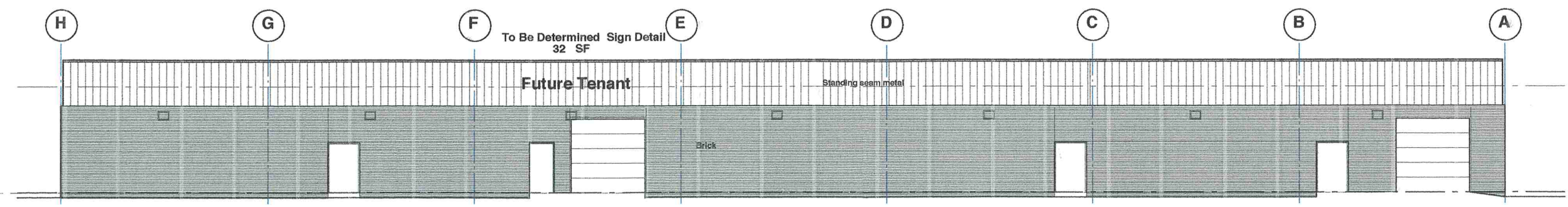


South Elevation



West Elevation

East Elevation



North Elevation